

DATE OF MEETING | February 1, 2021 |

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING |

**SUBJECT | DEVELOPMENT PERMIT APPLICATION NO. DP1154 –
475 STEWART AVENUE |**

OVERVIEW

Purpose of Report

To present for Council's consideration a development permit application for a four-storey multi-family residential building with six dwelling units. |

Recommendation

That Council issue Development Permit No. DP1154 at 475 Stewart Avenue with the following variances:

- increase the maximum lot coverage from 40% to 44%;
- reduce the minimum rear yard setback from 10.5m to 5.3m;
- reduce the minimum south side yard setback from 3.0m to 1.2m; and
- increase the maximum allowable combined height of a fence and retaining wall in the north side and rear yard from 2.4m to 3.6m. |

BACKGROUND

A development permit application, DP1154, was received from Raymond De Beeld Architect Inc, on behalf of Rhizoma Ventures Inc., in order to permit a new multi-family infill development at 475 Stewart Avenue.

Subject Property and Site Context

<i>Zoning</i>	R8 – Medium Density Residential
<i>Location</i>	The subject property is located on the west side of Stewart Avenue, between Townsite Road and Rosehill Street.
<i>Total Area</i>	810m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plans – Corridor Map 3 – Development Permit Area – DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development.
<i>Neighbourhood Plan</i>	Newcastle + Brechin Neighbourhood Plan – Mixed Use Corridor
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; Newcastle + Brechin Neighbourhood Plan Urban Design Framework and Guidelines

The subject property is an existing undersized multi-family-zoned lot in the Newcastle Neighbourhood and currently contains a single residential dwelling. The lot slopes downhill by approximately 4m from west to east.

The properties to the north, west, and south are also zoned R8 – Medium Density Residential and contain established single residential dwellings. There is a three-storey multi-family residential building across Stewart Avenue to the east. The subject property is within walking distance of commercial services and amenities along Terminal Avenue and further north on Stewart Avenue, and is also close to the Waterfront Walkway.

DISCUSSION

Proposed Development

The applicant is proposing a four-storey multi-family building with six residential units in a townhouse form. The proposed gross floor area is 923m² and the Floor Area Ratio (FAR) is equal to 1.14, below the maximum allowable FAR of 1.25 in the R8 zone.

Site Design

The proposed site design concentrates development toward the south side of the property with a shared driveway to provide vehicular access from Stewart Avenue on the north side of the property. Each unit will have a two-car garage with access from the driveway. The required number of parking spaces, long-term bicycle parking, and short-term bicycle parking are provided. A visitor parking space will also be provided adjacent to the driveway.

Pedestrian access to the site will be from Stewart Avenue, with an entrance walkway to each unit on the side south side of the building. The 1.2m-wide walkway will be framed by a portal structure with transparent gating. The entrance walkway will be lit by recessed wall lighting and the common green space will include low bollard lighting.

Refuse receptacles will be stored within individual garages and will be brought to a designated pick-up area on collection days.

Building Design

The proposed building will consist of six three-bedroom units. The units are configured to be accommodated within a functional building envelope on the undersized parcel. Each unit will contain a garage and entrance foyer on the ground floor, living space and a kitchen on the second floor, two bedrooms on the third floor, and a master bedroom and patio on the fourth floor. The units have also been designed to accommodate a future elevator where needed.

The building design utilizes the slope of the property and each unit steps 1m higher than the previous unit, mimicking the site's natural topography. With a natural slope uphill to the west, only three storeys will be visible above grade from the property to the west. All units will feature private patios facing south. Following feedback received from neighbours, the applicant revised the design and interior layout of the building to minimize overlook into the rear yards of adjacent properties.

The front façade of the building facing Stewart Avenue features a unique design with windows of varying size to create visual interest. The upper floor will be offset to break up the front façade. On the north elevation, balconies are framed by a two-storey projection to distinguish each unit and provide an interesting rhythm along with the uphill slope. The south elevation will feature patios adjacent to each unit's front door.

The primary building material on the east (front) elevation will be smooth composite cement panels, while the upper floor will be composite cement plank siding. The west (rear) elevation will be smooth composite cement panels, the north and south (side) elevations are largely composite cement plank siding, and the base of all elevations will feature composite cement shingle siding to break up the verticality of the structure.

Landscape Design

The proposed landscape design features a large landscaped boulevard to the front of building with a rain garden and art feature. An accessible ramp will cross through the front garden area. The rear of the property will contain a communal outdoor amenity space with a lawn, to be enclosed by a cedar panel fence. A retaining wall is proposed to raise the lawn in the rear above finished grade so that the common green space is at the same elevation as the second floor of the development and meets the grade of the adjacent property to the west. A shared storage room is proposed to be built into the retaining wall. Each unit will feature a small outdoor planter area on the fourth floor patios.

Since the original application, the applicant has made design alterations along the walkway on the south side of the building in an effort to accommodate and retain existing significant trees and a large hedge on the adjacent property to the south.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2019-SEP-26, accepted DP1154 as presented and provided the following recommendations:

- Look at ways to individualize each unit entrance for wayfinding purposes;
- Consider ways to strengthen the pedestrian entrance to the building to ensure it is well identified and easy to locate for visitors; and
- Review the Neighbourhood Plan and confirm the project meets its guidelines in principle.

The applicant subsequently revised the development plans to address the DAP recommendations by including individual elevated entries for each unit on the south elevation and by framing the pedestrian entrance to the building with a highly visible street-facing portal. A number of revisions were made to address the Newcastle + Brechin Neighbourhood Plan Urban Design Framework and Guidelines (NBNP Guidelines) as summarized below:

- The fourth floor patios were switched from the north side to the south side of the building to minimize overlook onto neighbouring rear yards. In doing so, the massing on the south elevation was softened with the uppermost floor recessed further from the lot line. This change is consistent with the NBNP Guidelines, which recommend buildings be set back above the third floor in proximity to neighbouring lot lines.

- An interior spatial reconfiguration reduced the amount of glazing on the north elevation to better respect the privacy of neighbours.
- The roof overhang on the north elevation was reduced to minimize the building's perceived massing.

In addition to the above-noted revisions, the applicant undertook a schematic analysis to review the feasibility of orienting individual unit entrances towards Stewart Avenue. Given the width of the lot and layout of units, the analysis determined that it was not feasible while still providing a single driveway access from Stewart Avenue. In lieu of street-oriented units, the applicant is proposing a significant landscaped area in the front yard with a unique building façade and street-facing art to provide visual interest at the pedestrian level.

Proposed Variances

Maximum Lot Coverage

The maximum lot coverage in the R8 zone is 40%. The proposed lot coverage is 44%; a requested variance of 4% (31m²).

The calculation of lot coverage includes the area of the partially underground garages and the building cantilevers, such as covered decks and overhangs. The proposed building footprint alone is equal to 40%. The subject property's lot size of 810m² is less than the minimum lot size of 1,800m² for new lots created under the R8 zone. The building density will not exceed the maximum permitted FAR in the R8 zone, and the increased lot coverage will accommodate the proposed under-building parking.

Minimum Rear Yard Setback

The minimum rear yard setback in the R8 zone is 10.5m. The proposed rear yard setback is 5.3m; a requested variance of 5.2m.

The proposed building is oriented to align with a full-width driveway along the north property line. By providing a 6.7m north side yard setback, greater than the minimum 3m side yard setback, the applicant is requesting to vary the rear yard setback to provide a feasible building envelope on the constrained site. The visual impact of the building will be reduced as it presents a three-storey façade above grade on the rear (west) elevation.

Minimum Side Yard Setback

The minimum side yard setback in the R8 zone is 3m. The proposed south side yard setback for a portion of the parking level is 1.2m; a requested variance of 1.8m.

The 1.2m setback is requested only for the partially underground garages adjacent to the pedestrian walkway on the south elevation. The variance is requested in order to accommodate two full-size vehicles in tandem in each garage, as well as the required 6.7m-wide drive aisle on the north side of the building. Above the garage level, the remainder of the first three levels on the south elevation will comply with the minimum required 3m setback, and the uppermost level will have a setback of 5m.

Maximum Fence Height

The maximum allowable combined fence and retaining wall height in a side or rear yard in the R8 zone is 2.4m. A proposed fence and retaining wall will have a combined a height of 3.6m; a requested variance of 1.2m.

In order to create a functional outdoor amenity space in the rear at the same grade as the neighbouring properties, a 2.4m-high retaining wall is proposed within the north side yard and rear yard. The retaining wall will face the internal driveway, which is lower than surrounding properties, and the wall is not expected to be visible from outside the subject property. A 1.2m-high cedar board fence is proposed on top of the concrete retaining wall for safety and privacy of neighbours.

The development complies with all other zoning regulation, including permitted building height and density. Staff support the proposed variances, which will enable a ground-oriented infill development in close proximity to existing services and with consideration to the NBNP Guidelines and building design objectives.

SUMMARY POINTS

- Development Permit Application No. DP1154 is for a four-storey multi-family infill development with six residential units in a townhouse form.
- Variances are requested to increase the maximum lot coverage from 40% to 44%, to reduce the minimum rear yard setback from 10.5m to 5.3m, to reduce the minimum side yard setback for a portion of the parking level from 3m to 1.2m, and to increase the maximum allowable combined fence and retaining wall height in the north side and rear yard from 2.4m to 3.6m.
- Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site Plan
ATTACHMENT E: Building Elevations
ATTACHMENT F: Building Renderings
ATTACHMENT G: Building Sections
ATTACHMENT H: Retaining Wall Sections
ATTACHMENT I: Shadow Study
ATTACHMENT J: Landscape Plan and Details
ATTACHMENT K: Aerial Photo

Submitted by:

Lainya Rowett
Manager, Current Planning Section

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

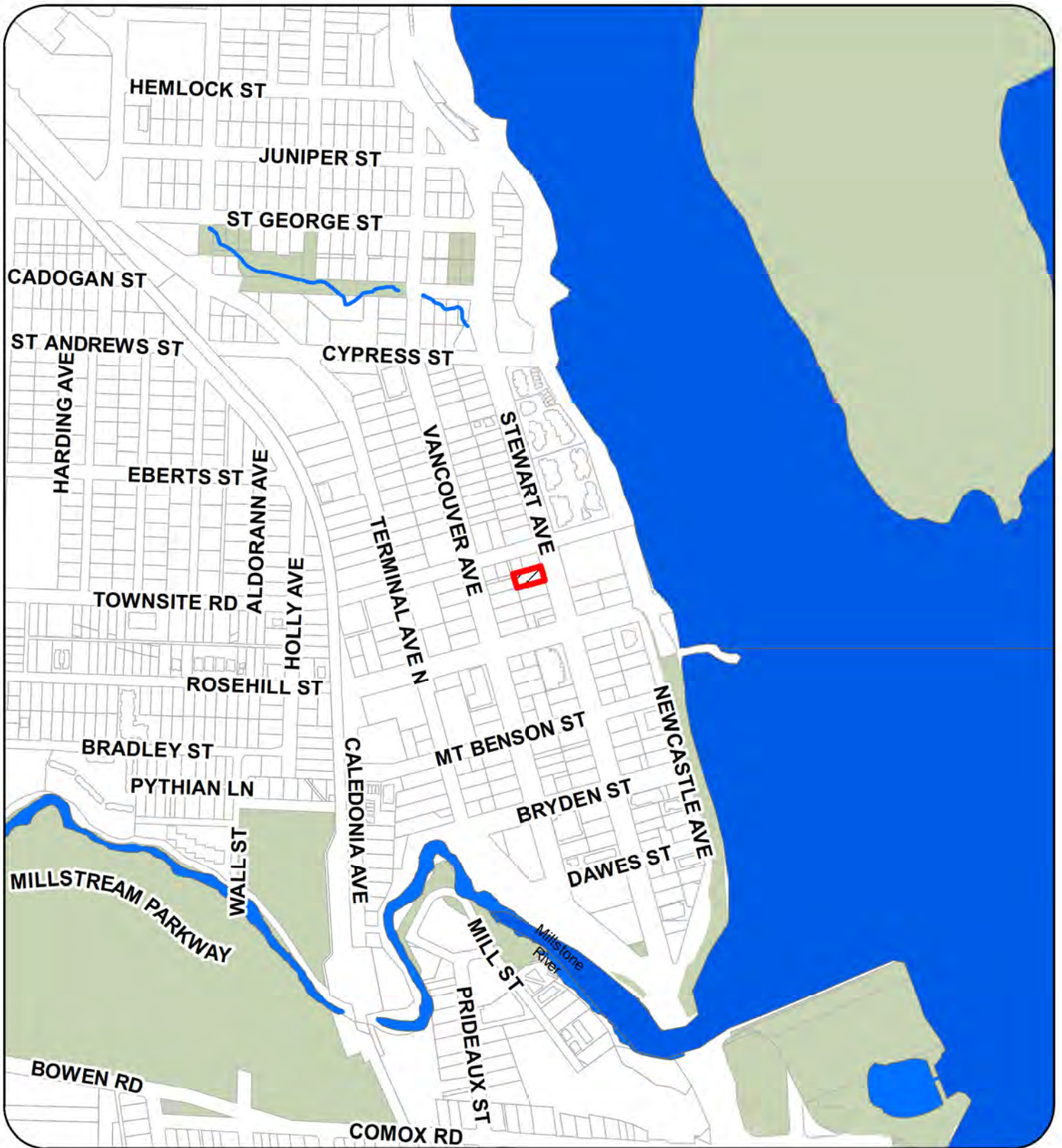
The “City of Nanaimo Zoning Bylaw 2011 No. 4500”, is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum permitted height for a combined fence and retaining wall within the north side and rear yard from 2.4m to 3.6m.
2. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required rear yard setback from 10.5m to 5.3m.
3. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required south side yard setback from 3.0m to 1.2m for the parking level of the building.
4. *Section 7.6.1 Size of Buildings* – to increase the maximum lot coverage from 40% to 44%.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site Plan prepared by Raymond de Beeld Architect Inc., dated 2020-NOV-09, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations prepared by Raymond de Beeld Architect Inc., dated 2020-NOV-09, as shown on Attachment E.
3. The development is in substantial compliance with the Retaining Wall Sections prepared by Raymond de Beeld Architect Inc., dated 2020-NOV-09, as shown on Attachment H.
4. The subject property is developed in substantial compliance with the proposed Landscape Plan and Details prepared by Kate Stefiuk Studio, dated 2020-OCT-30, as shown on Attachment J.

ATTACHMENT B
CONTEXT MAP



DEVELOPMENT PERMIT APPLICATION NO. DP1154 - 475 STEWART AVENUE



475 Stewart Avenue

ATTACHMENT C
LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001154

LOCATION PLAN

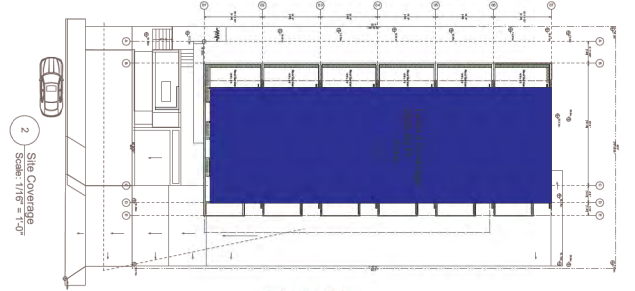
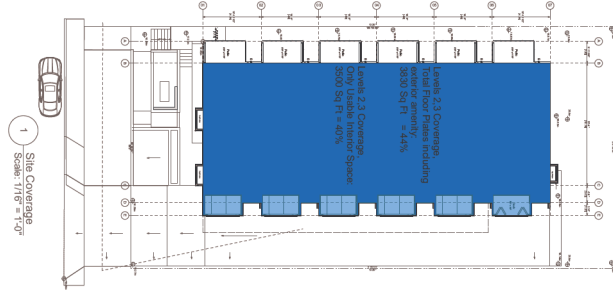
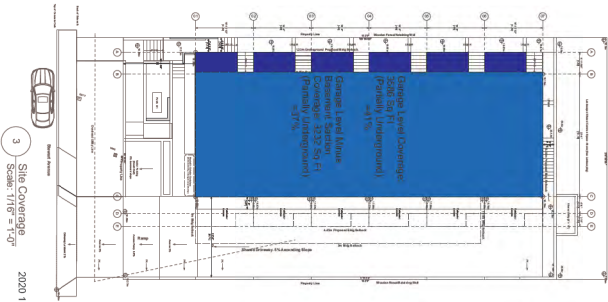
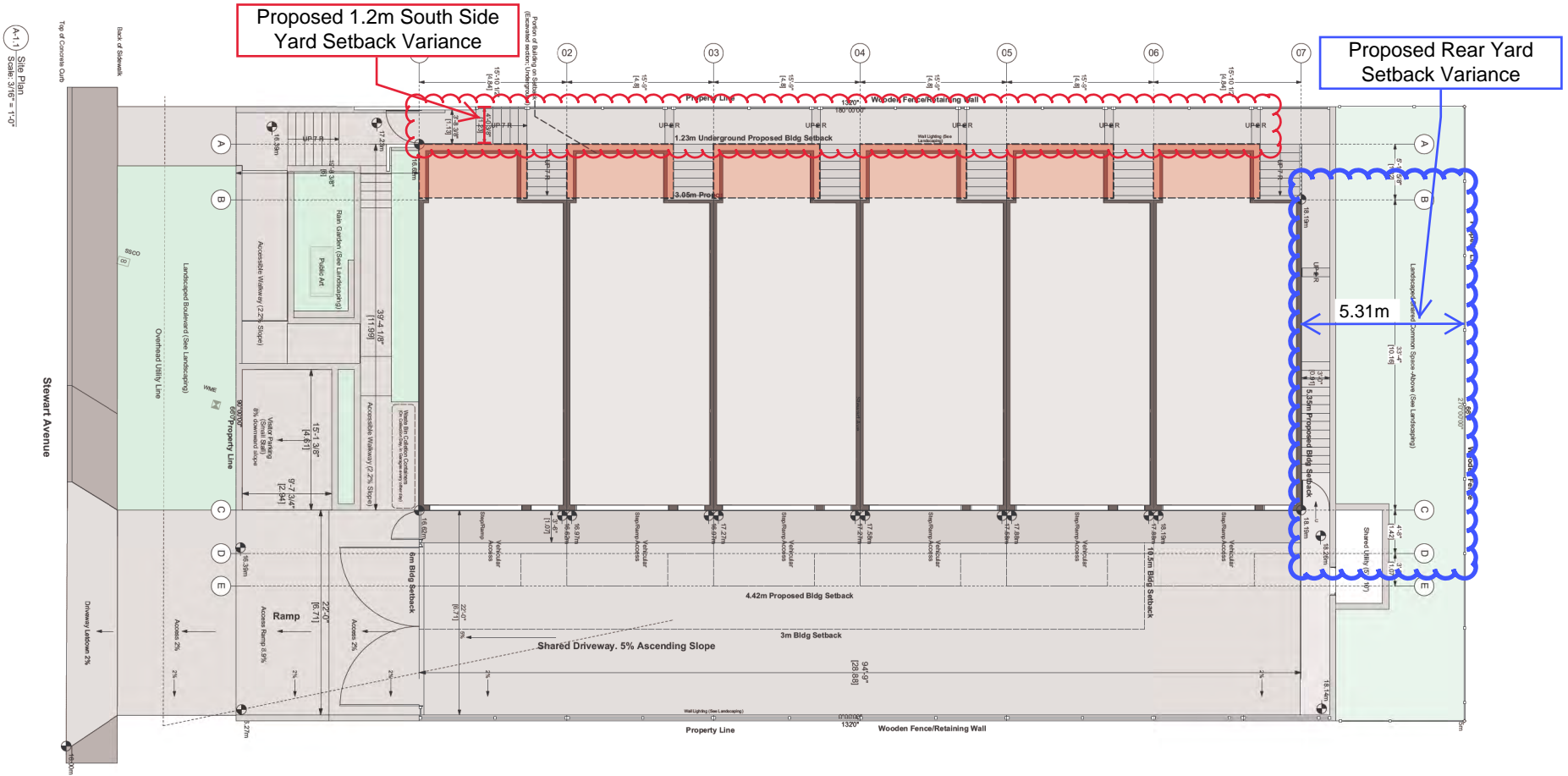
Civic: 475 STEWART AVENUE

Legal: LOT 3, BLOCK 1, SECTION 1, NANAIMO DISTRICT
NEWCASTLE TOWNSITE, PLAN 584



Subject Property

ATTACHMENT D SITE PLAN



Rhizoma

Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Site Plan

RECEIVED
DP 1154
5-10-2020
2020-NOV-10

2020 11 09 DP Rev 2

A1.1

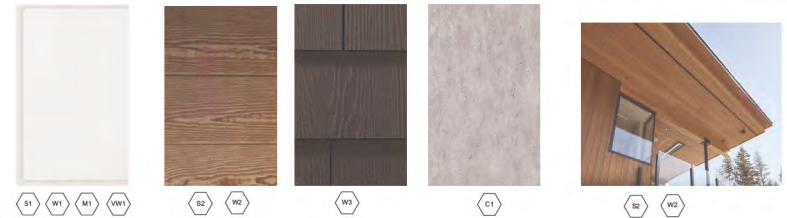
ATTACHMENT E BUILDING ELEVATIONS



AE-00 North Elevation
Scale: 1/4" = 1'-0"

Finishes Legend

- A11 Aluminium Glass Guard (Black Frame)
- C1 Exposed Boardface Formwork Concrete Retaining Wall
- G1 Clear Glass
- L1 Wall Lighting (see Landscaping)
- M1 Metal Flashing (colour White)
- M2 Metal Flashing (colour Black)
- P1 Paving (see Landscaping)
- PD1 Painted Fiberglass Door (colour Dark Gray -Cracked Pepper-)
- PD2 Painted Fiberglass Door with Clear Glass Insert (colour Dark Gray -Cracked Pepper-)
- R1 Torch-on Roofing
- S1 HardieSoffit Panel Smooth (colour "Arctic White") w/ white reveal
- S2 HardieSoffit Cedar Mill Fisher True Grain (colour "Chris Craft")
- VW1 Vinyl Windows (colour Black)
- W1 HardiePanel Smooth with hidden reveal (colour "Arctic White")
- W2 HardiePlank Cedar Mill Fisher True Grain lap-siding (colour "Chris Craft")
- W3 HardieShingle Siding Straight Edge Panel (colour "Iron Gray")
- WF1 Wood Fence (see Landscaping)
- WL1 Wood Lattice Privacy Screen



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

North Elevation

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2020-NOV-9
OUTREACH PLANNING

2020 11 09 DP Rev.2

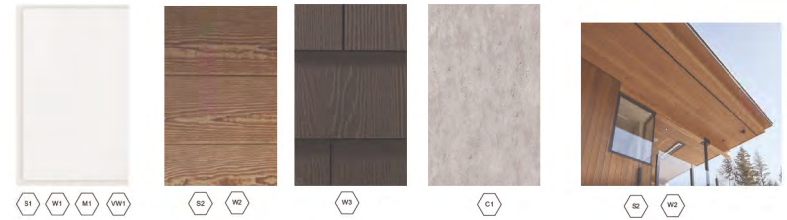
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AE-00 South Elevation
Scale: 1/4" = 1'-0"

Finishes Legend

- A1 Aluminium Glass Guard (Black Frame)
- C1 Exposed Boardface Formwork Concrete Retaining Wall
- G1 Clear Glass
- L1 Wall Lighting (see Landscaping)
- M1 Metal Flashing (colour White)
- M2 Metal Flashing (colour Black)
- P1 Paving (see Landscaping)
- PD1 Painted Fiberglass Door (colour Dark Gray -Cracked Pepper-)
- PD2 Painted Fiberglass Door with Clear Glass Insert (colour Dark Gray -Cracked Pepper-)
- R1 Torch-on Roofing
- S1 HardieSoffit Panel Smooth (colour "Arctic White") w/ white reveal
- S2 HardieSoffit Cedar Mill Fisher True Grain (colour "Chris Craft")
- VW1 Vinyl Windows (colour Black)
- W1 HardiePanel Smooth with hidden reveal (colour "Arctic White")
- W2 HardiePlank Cedar Mill Fisher True Grain lap-siding (colour "Chris Craft")
- W3 HardieShingle Siding Straight Edge Panel (colour "Iron Gray")
- WF1 Wood Fence (see Landscaping)
- WL1 Wood Lattice Privacy Screen



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Stewart Townhouses

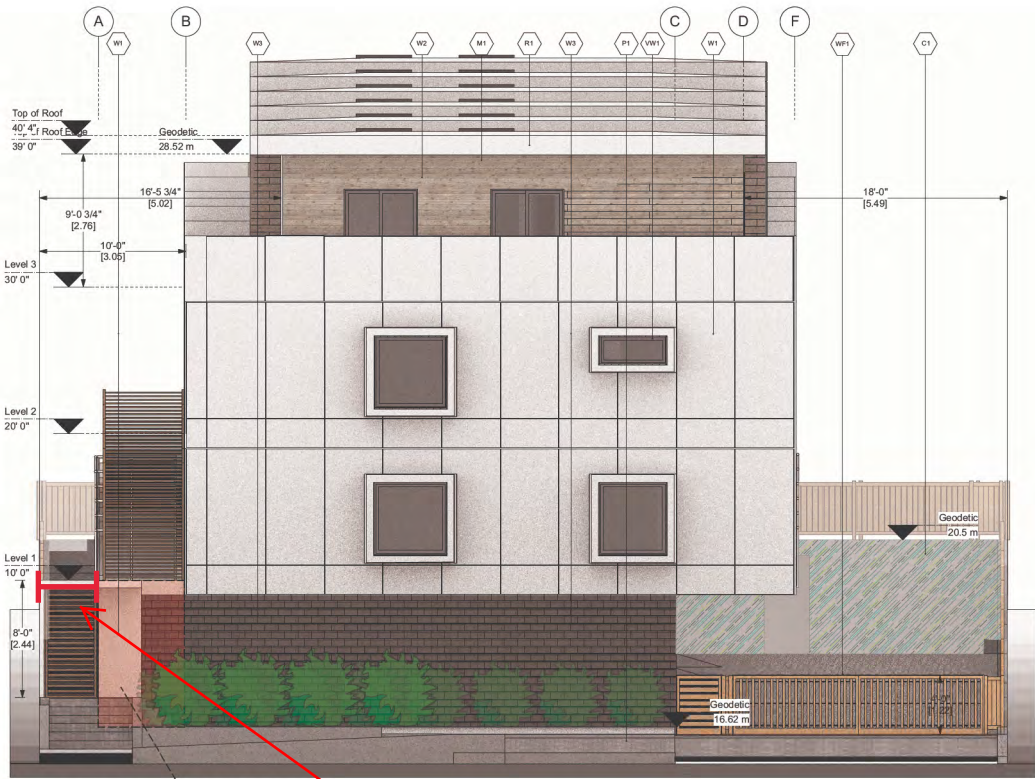
475 Stewart Ave, Nanaimo, BC

South Elevation

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2020-NOV-9
Current Planning

2020 11 09 DP Rev.2

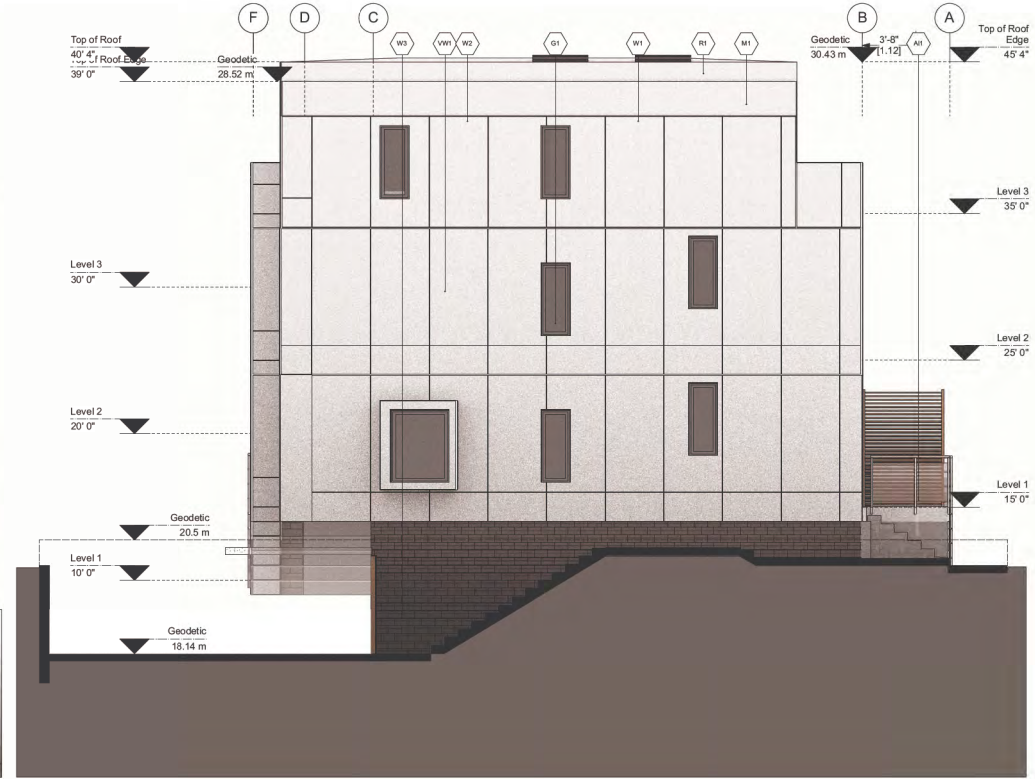
A2.2



AE-003 East Elevation
Scale: 1/4" = 1'-0"

Stewart Avenue

Proposed 1.2m South Side Yard Setback Variance



WE-004 West Elevation
Scale: 1/4" = 1'-0"

Finishes Legend

- AI1 Aluminium Glass Guard (Black Frame)
- C1 Exposed Boardface Formwork Concrete Retaining Wall w/Green Cover
- G1 Clear Glass
- L1 Wall Lighting (see Landscaping)
- M1 Metal Flashing (colour White)
- M2 Metal Flashing (colour Black)
- P1 Paving (see Landscaping)
- PD1 Painted Fiberglass Door (colour Dark Gray -Cracked Pepper-)
- PD2 Painted Fiberglass Door with Clear Glass Insert (colour Dark Gray -Cracked Pepper-)
- R1 Torch-on Roofing
- S1 HardieSoffit Panel Smooth (colour "Arctic White") w/ white reveal
- S2 HardieSoffit Cedar Mill Fisher True Grain (colour "Chris Craft")
- VW1 Vinyl Windows (colour Black)
- W1 HardiePanel Smooth with hidden reveal (colour "Arctic White")
- W2 HardiePlank Cedar Mill Fisher True Grain lap-siding (colour "Chris Craft")
- W3 HardieShingle Siding Straight Edge Panel (colour "Iron Gray")
- WF1 Wood Fence/Gate (see Landscaping)
- WL1 Wood Lattice Privacy Screen



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Elevations

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DP1154
2020-NOV-9
CLARENCE PLANNING

2020 11 09 DP Rev.2

A2.3

ATTACHMENT F BUILDING RENDERINGS



Birds' Eye View from Stewart Ave and Townsite Rd looking South-West



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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 DP 1154
 2020-NOV-9
 2020 11 09 DP Rev.2 **A0.3**



Perspective from Stewart Ave towards vehicular entry, looking South-West



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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DP154
2020-NOV-9
CITY OF NANAIMO

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Perspective from Stewart Ave towards pedestrian entry, looking North-West



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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 DP1154
 2020-NOV-9
 RAYMOND de BEELD ARCHITECT INC.

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491 Stewart Avenue

Perspective from corner of Stewart Ave and Townsite Rd looking South-West



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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 2020-NOV-9
CITY OF NANAIMO

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A0.6



Perspective from North-West corner of site, looking South-East.



RAYMOND
de BEELD
ARCHITECT Inc. **Rhizoma**

Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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DP 1154
2020-NOV-9
CURRENT PLANNING

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Perspective from South-West corner of site, looking at shared back yard landscaped area.



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Renderings

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 2020-NOV-9
 GUTRELL PLANNING

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A0.8



Perspective from Northern Neighbours' point of view, seen from Townsite Rd.



Perspective from Western Neighbour's point of view.



Perspective from North-Western Neighbour's point of view.



Perspective from Southern Neighbour's point of view.



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475 Stewart Ave, Nanaimo, BC

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 2020-NOV-9
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Renderings: Neighbours

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A0.10



Perspective from Southern Neighbours' point of view, seen from Neighbour Back Yard



Perspective from pedestrian walkway accessing units on South side.



Perspective from North Neighbour's point of view, seen from neighbour back yard.



Perspective from top floor patios looking South.



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Stewart Townhouses

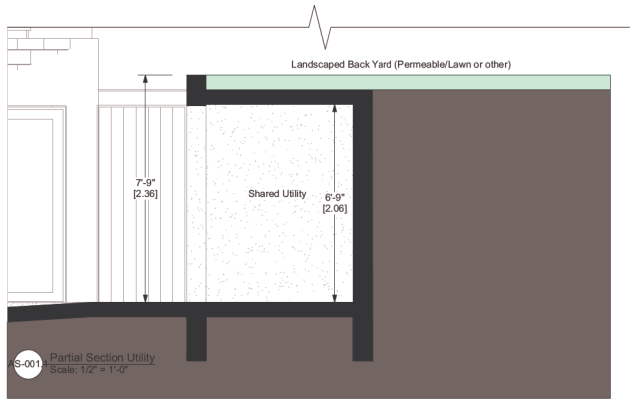
475 Stewart Ave, Nanaimo, BC

Renderings: Neighbours and Access

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2020-NOV-9
CURRENT PLANNING

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ATTACHMENT G BUILDING SECTIONS



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Sections

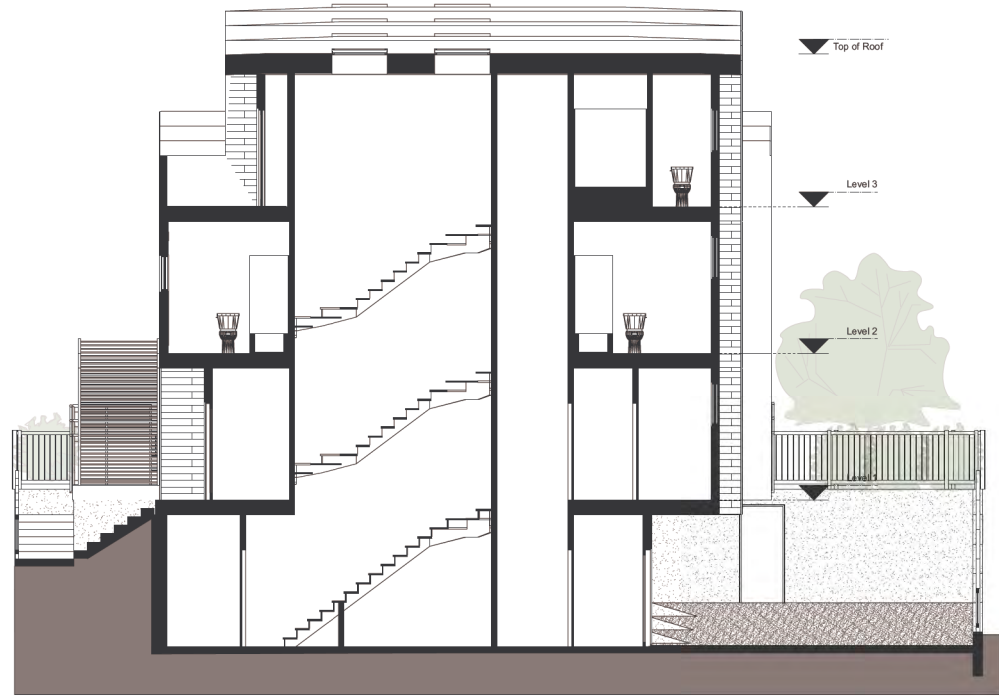
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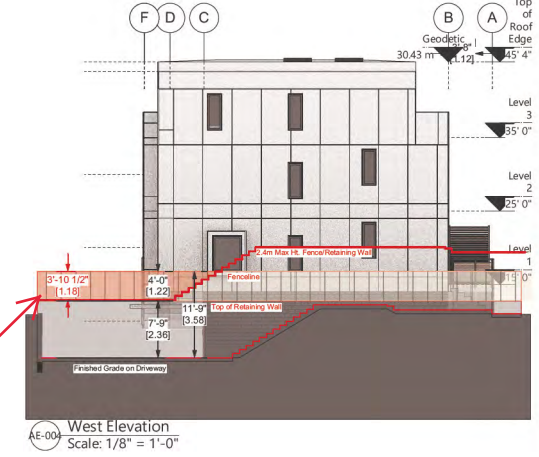
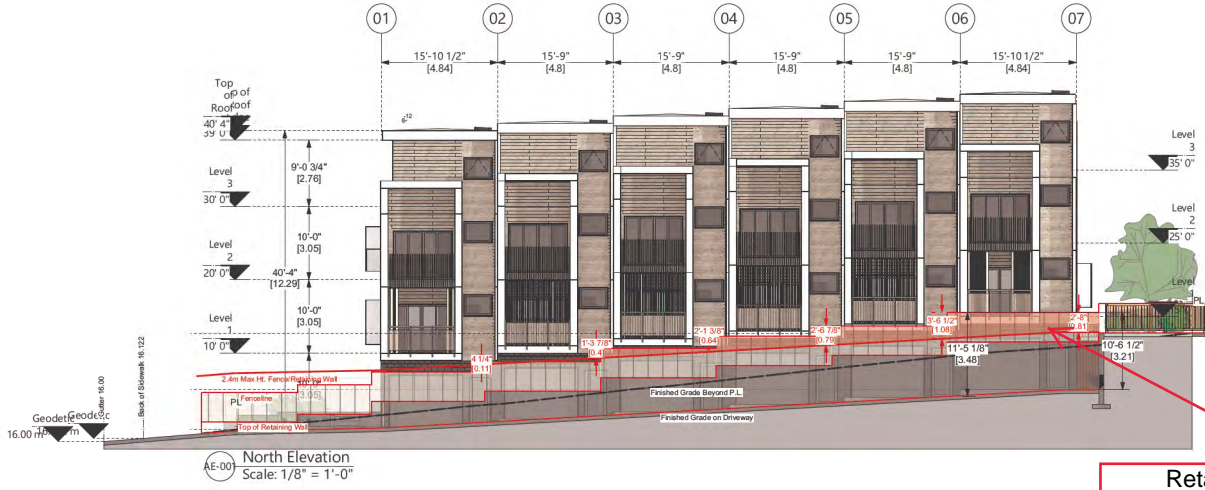


2 Section 2
Scale: 1/4" = 1'-0"



4 Section 5
Scale: 1/4" = 1'-0"

ATTACHMENT H RETAINING WALL SECTIONS



Retaining Wall
Height Variances



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Stewart Townhouses

475 Stewart Ave, Nanaimo, BC

Retaining Wall Sections

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DP1154
2020-NOV-9
Current Planning

2020 11 09 DP Rev.2

A2.6

ATTACHMENT I SHADOW STUDY



March 21, 9 a.m.



March 21, 12 p.m.



March 21, 3 p.m.



June 21, 9 a.m.



June 21, 12 p.m.



June 21, 3 p.m.



September 21, 9 a.m.



September 21, 12 p.m.



September 21, 3 p.m.



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475 Stewart Ave, Nanaimo, BC

Shadow Study

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2020-NOV-9
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A0.12

ATTACHMENT J LANDSCAPE PLAN AND DETAILS

KATE STEFIUK STUDIO

1070 Nelson Street
Nanaimo BC V9S 2K2
250-753-8093
kate.stefiuk@gmail.com

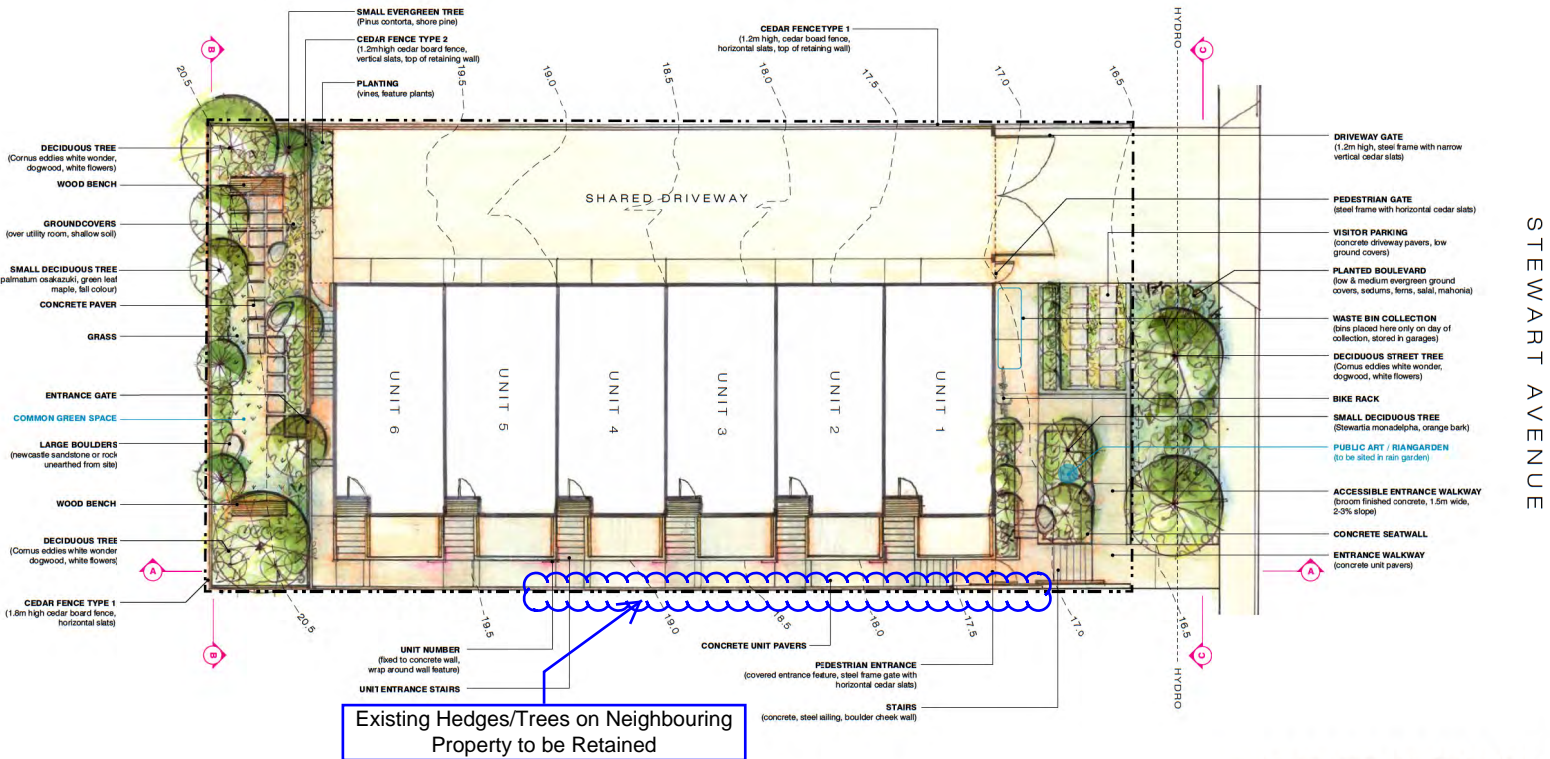
CLIENT

RHIZOMA VENTURES INC

201-430 West Broadway
Vancouver, BC V6Y 1R4
604-783-7924

NO.	DATE	ISSUE
1	09-19-19	DP SUBMISSION
2	10-30-20	DP RESUBMISSION

NO. | DATE | REVISION



LANDSCAPE CONCEPT PLAN
SCALE 1:200

DESIGN RATIONALE

CONTEXT

The landscape at 475 Stewart Avenue serves two primary functions. It establishes the streetscape for a 6-dwelling multi-family development along the western side of Stewart Avenue - a busy, four-lane road that acts as a gateway into the city of Nanaimo; and it provides the private outdoor space for residents living in a contemporary high-density residential development.

DESIGN CONCEPT

The landscape design concept responds directly to the Newcastle and Brechin Neighbourhood Plan by advancing the evolution of Stewart Avenue from a wide vehicular thoroughfare into a true gateway street for Nanaimo.

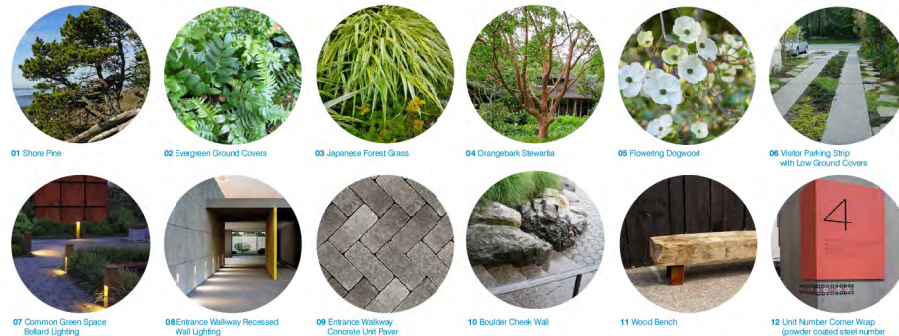
- The planting plan offers a lush, green neighborhood edge, relying on native, drought tolerant and evergreen species inspired by the local ecology.
- The public realm and pedestrian experience is enhanced with generous planting and natural features integrated into the sidewalk boulevard, providing visual interest at the human scale to complement a striking new building.

- The landscape design anchors a contemporary feature building within the local context with a strong indigenous planting palette, accentuating a unique sense of place for the project.

Key components of the landscape design include:

- A diverse, multi-layered planting scheme that relies on drought tolerant native species and natural elements, as well as public art to enhance the streetscape along Stewart Avenue.
- Rainwater garden to manage runoff naturally on site and to reflect and celebrate our Vancouver Island climate.
- A private, common green space to create a tranquil, natural setting for residents of the development.

DESIGN PRECEDENTS



PLANT PALETTE

Key	Botanical Name	Common Name
Deciduous Trees		
Az	<i>Ficus palmatum</i> Osakaaki	Japanese Maple
Ce	<i>Cornus edulis</i> white wonder	Eddies White Wonder Dogwood
Sm	<i>Stewartia monadelpha</i>	Orangebark Stewartia
Evergreen Trees		
Pnc	<i>Pinus contorta</i>	Shore Pine
Evergreen Shrubs		
Au	<i>Arctostaphylos</i>	Strawberry Bush
Cs	<i>Cassiopeia</i> shinobu	Sata
M	<i>Moraea californica</i>	Pacific Wax Myrtle
Mh	<i>Mahonia repens</i>	Dull Oregon Grape
Yp	<i>Vaccinium ovatum</i>	Evergreen Huckleberry
Deciduous Shrubs		
Cs	<i>Cornus sericea</i>	Red Osier Dogwood
Ra	<i>Ribes sanguineum</i>	Red Flamingo Current
V	<i>Vaccinium</i> (various)	Blueberry
Ground Cover		
Au	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
Es	<i>Eranium subbotum</i>	Liponidium
Fr	<i>Fragaria chiloensis</i>	Coasts Strawberry
Go	<i>Gallium odorata</i>	Sweet Woodruff
Sa	<i>Sedum taceata</i> Angelina	Angelina Stonecrop
Ss	<i>Sedum spathulifolium</i>	Broad-leaved Stonecrop
Ss	<i>Sedum spaurium</i> Schorbusen Bluf	Orange Blood Sedum
Ferns		
Bs	<i>Blechnum spicant</i>	Deer Fern
De	<i>Dryopteris erythrosora</i>	Azure Fern
Pm	<i>Polydictyon mundum</i>	Sword Fern
Grasses		
Hk	<i>Hakonechloa maera</i>	Japanese Forest Grass
Hl	<i>Micanthus yakuensis</i>	Cherry Maiden Grass
Sc	<i>Setaria chiroloa</i>	Blue Moor Grass

PROJECT

STEWART TOWNHOUSE

475 Stewart Avenue
Nanaimo, BC

RECEIVED
DP1154
2020-NOV-9
CURRENT PLANNING

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PROJECT DB KS 1903 CB KS

SCALE DATE 1:100 JULY 5, 2019

L1.01

KATE STEFUK STUDIO

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CLIENT

RHIZOMA VENTURES INC

301-430 West Broadway
 Vancouver, BC V6Y 1R4
 604-783-7924

NO.	DATE	ISSUE
1	09-19-19	DP SUBMISSION
2	10-30-20	DP RESUBMISSION

NO. | DATE | REVISION



Elevation A
 South Elevation - Entrance Walkway
 Scale 1:100



Elevation B
 West Elevation - Common Green Space
 Scale 1:100



Elevation C
 East Elevation - Stewart Avenue Frontage
 Scale 1:100

DESIGN FENCE DETAILS



Cedar Fence Type 1
 Horizontal Cedar Boards
 Height: 1.2m - 1.8m
 Colour: Natural Stain



Cedar Fence Type 2
 Vertical Cedar Boards
 Height: 1.2m
 Colour: Natural Stain



Driveway Gate
 Vertical Cedar Boards, Steel Frame
 Height: 1.2m
 Colour: Natural Stain on wood slats



13 Driveway Gate



14 Entrance Gate



15 Entrance Gate

PROJECT

STEWART TOWNHOUSE

475 Stewart Avenue
 Nanaimo, BC

RECEIVED
DP1154
 2020-NOV-9
 Current Planning

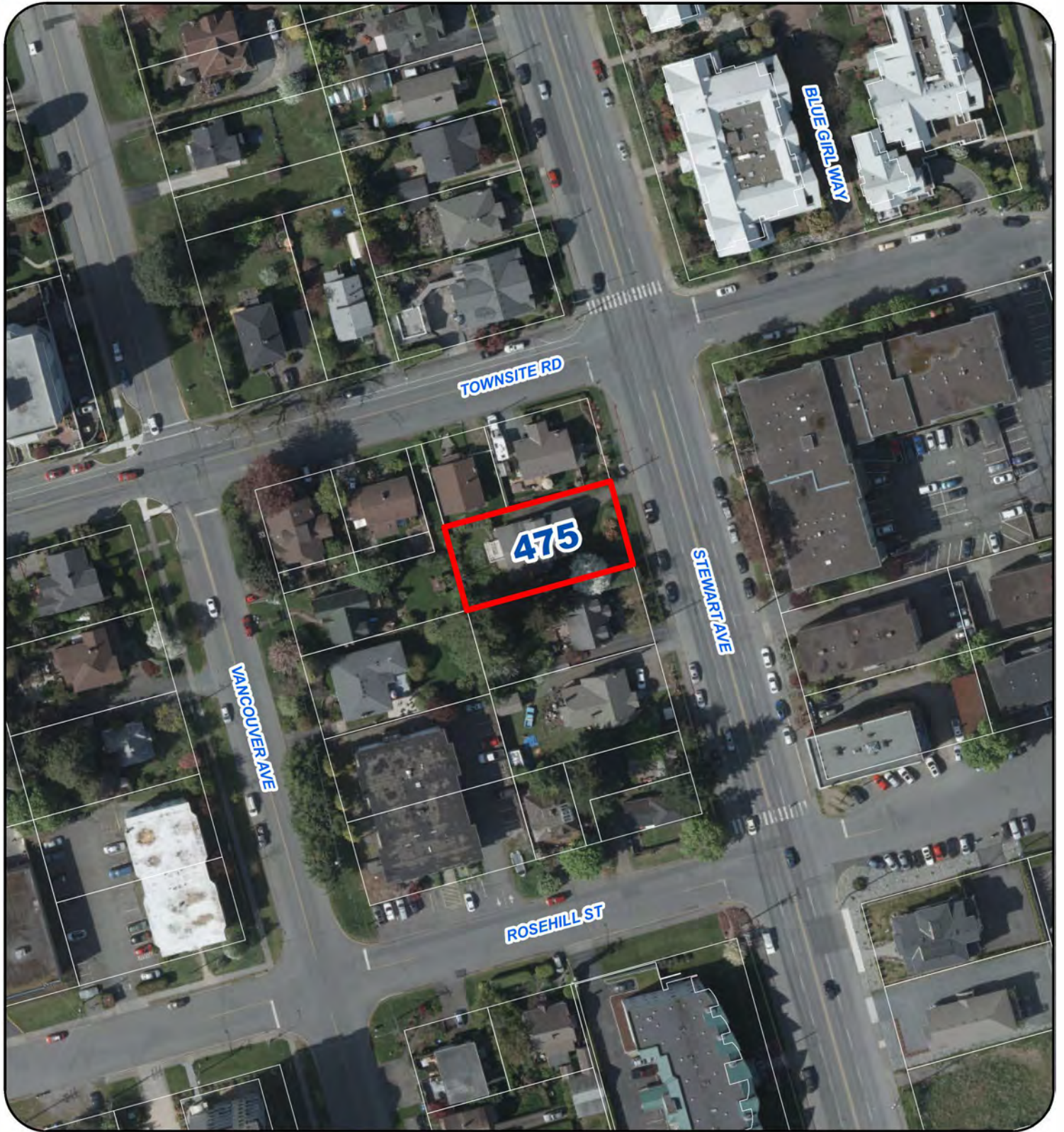
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PROJECT 1903 DB KS CB KS

SCALE 1:100
 DATE JULY 5, 2019

L1.02

ATTACHMENT K
AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001154

Legend

 Subject Property