



DEVELOPMENT PERMIT NO. DP001184

KENCO ENTERPRISES (1982) LTD
Name of Owner(s) of Land (Permittee)

558 MEDEA WAY
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DISTRICT,
PLAN 584**

PID No. 008-812-691

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations and Details

Schedule D Landscape Plan and Details

- a) If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required front yard setback from 6.00m to 1.09m.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum lot coverage from 40.0% to 43.4%.
3. *Section 17.2.1 Required Landscaping* – to reduce the minimum required front yard landscape buffer width from 1.80m to 1.09m.

The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 4.3 Small Car Spaces* – to increase the maximum permitted percentage of small car parking spaces from 40% to 50%.
2. *Section 7.1 Multiple-Family Dwelling Parking Table* – to reduce the minimum required number of off-street parking spaces from 9 spaces to 8 spaces.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the proposed Site Plan prepared by Ellins Architect Inc., dated 2021-MAR-16, as shown on Schedule B.
2. The development is in substantial compliance with the proposed Building Elevations and Details prepared by Ellins Architect Inc., received 2021-APR-13, as shown on Schedule C.
3. The development is in substantial compliance with the proposed Landscape Plan and Details prepared by Mystic Woods Landscape Design, dated 2020-JUN-24, as shown on Schedule D.

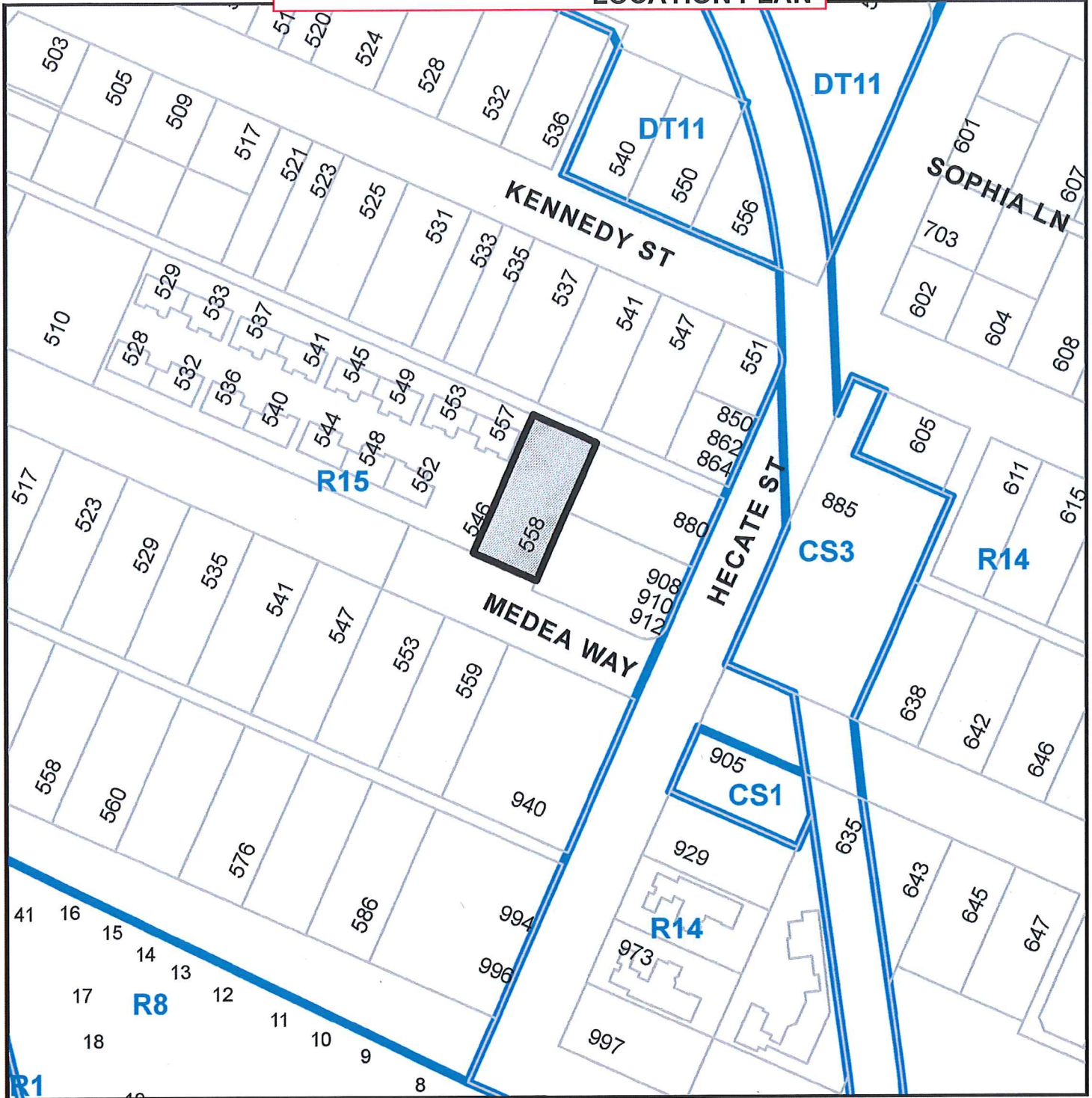
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 3RD DAY OF MAY, 2021.


Corporate Officer


Date

Development Permit No. DP001184 Schedule A
558 Medea Way

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001184



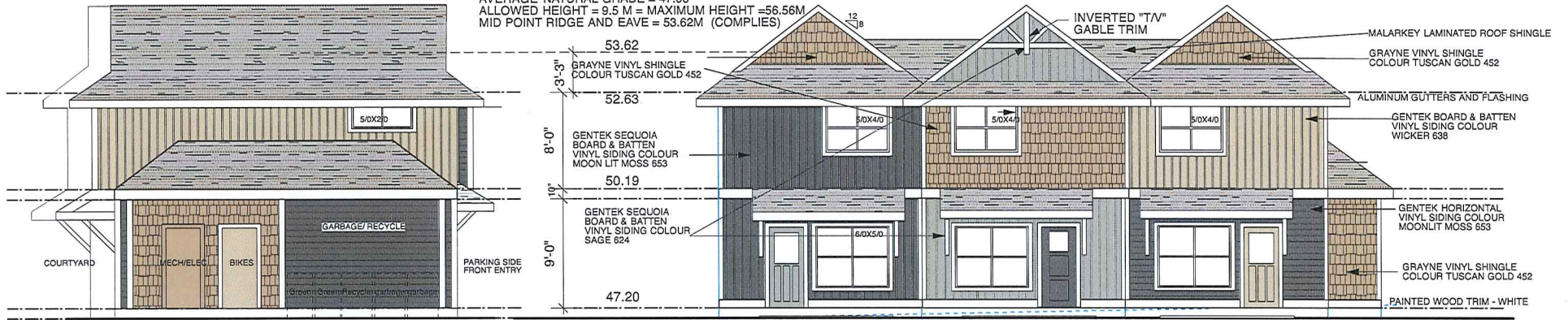
 **Subject Property**

CIVIC: 558 MEDEA WAY
LEGAL: SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DISTRICT, PLAN 584

558 Medea Way

BUILDING ELEVATIONS AND DETAILS

AVERAGE NATURAL GRADE = 47.06
ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.56M
MID POINT RIDGE AND EAVE = 53.62M (COMPLIES)



ELEVATION - BUILDING 1 -LEFT SIDE

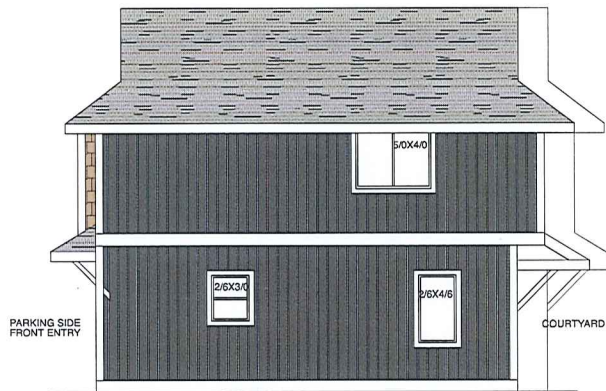
EAST ELEVATION

UNIT 3

ELEVATION - REAR ENTRY FROM COURTYARD

UNIT 1

SOUTH ELEVATION



ELEVATION - BUILDING 1 -RIGHT SIDE

WEST ELEVATION



UNIT 1

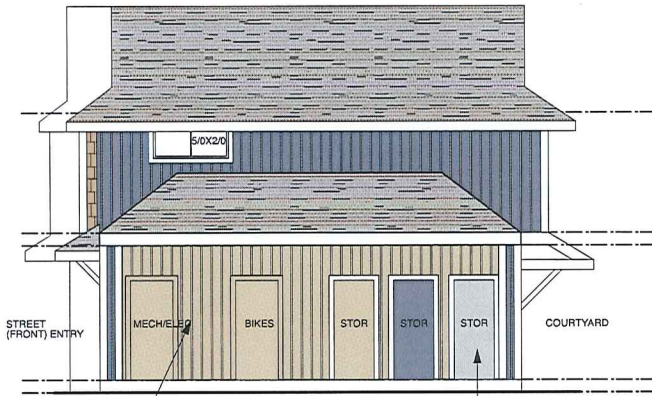
ELEVATION - FRONT ENTRY FROM LANE PARKING

UNIT 3

NORTH ELEVATION

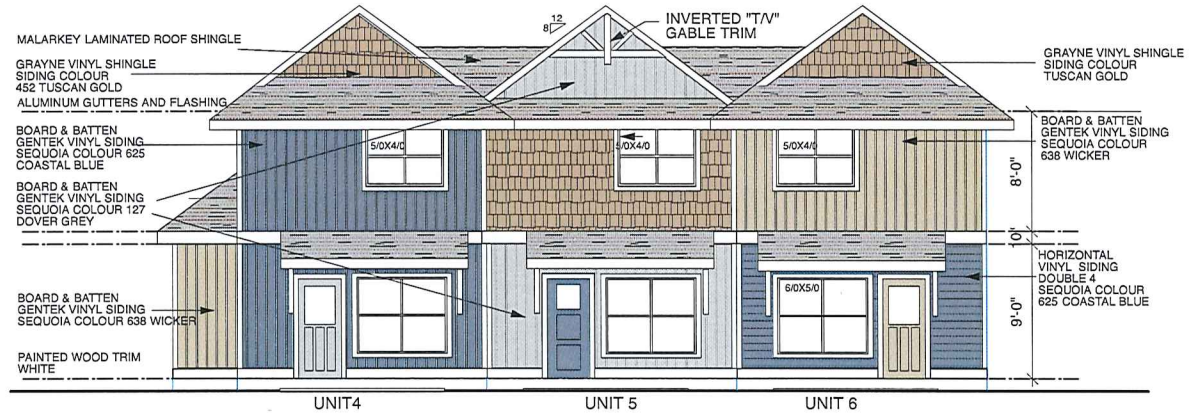
**MEDEA WAY BUILDING 1 - UNITS 1, 2 & 3
COLOUR SCHEME GREEN**

RECEIVED
DP1184
2021-APR-13
Current Planning



ELEVATION - BUILDING 2 - RIGHT SIDE
FRAMING OF EXPOSING FACE WALL OF STORAGE ROOM TO BE FRAMED WITH METAL STUD AND FACED W/ HARDIE SIDING TO MATCH VINYL ELSEWHERE, DOORS TO BE 1HR. RATED DOORS

EAST ELEVATION

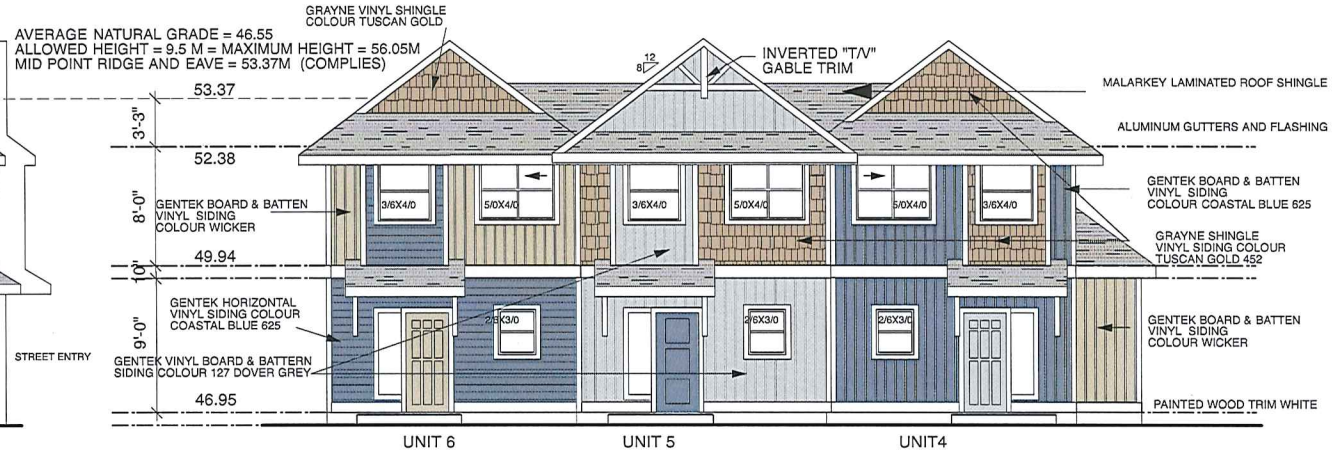


ELEVATION - REAR ENTRY FROM COURTYARD NORTH ELEVATION



ELEVATION - BUILDING 2 - LEFT SIDE

WEST ELEVATION

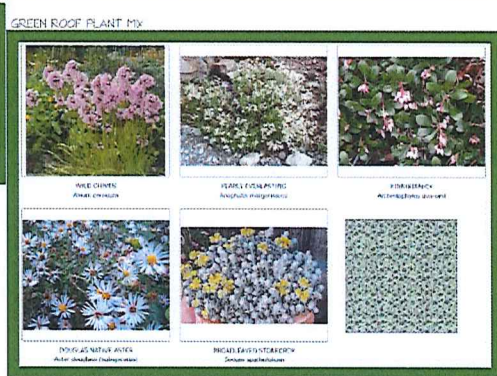
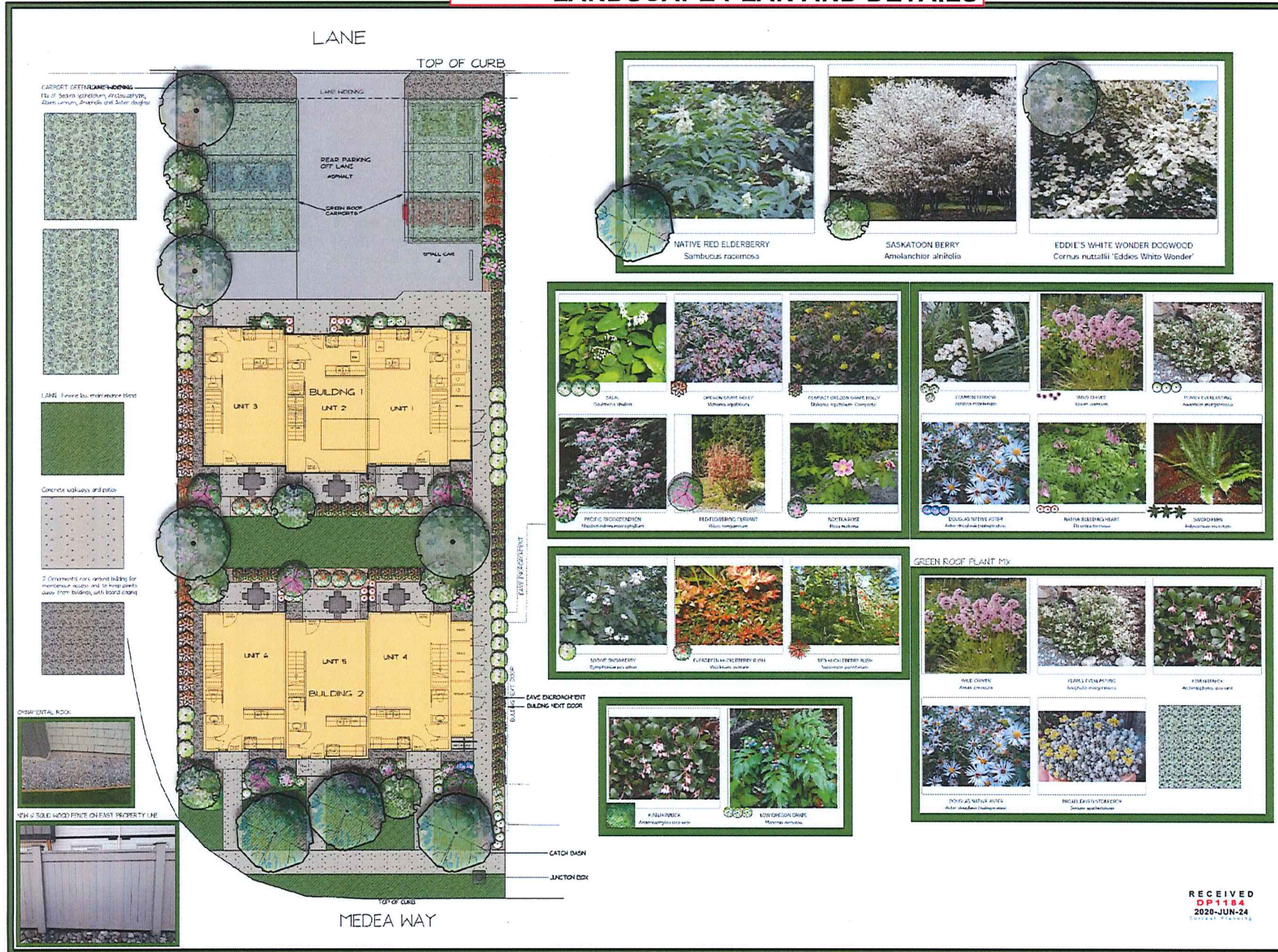


ELEVATION - FRONT ENTRY FACING MEDEA WAY

SOUTH ELEVATION

**MEDEA WAY BUILDING 2 - UNITS 4, 5 & 6
COLOUR SCHEME BLUE**

RECEIVED
DP1184
2021-APR-13
Current Planning



BC LANDSCAPE STANDARDS
 All construction to meet the requirements as set out in the BC Landscape Standards, 2012 edition prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association jointly.
 Copies of the BC Landscape Standards are available through the BC LNA office at 1-604-574-7772.

Contractor to consult with designer regarding any discrepancies.
 Contractor to consult with designer if plant substitutions are requested due to availability.

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications applied with this plan.
 If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS
 Minimum depth for shrub beds: 450mm (18")
 Minimum depth for grass/lawn: 120mm (5")
 Minimum depth for general: 100mm (4")
 Minimum depth for lawn areas: 100mm (4")
 Minimum depth for mulch: 75-75mm (3-3")
 1 tree or shrub detail on these drawings.

LANDSCAPE AREA	804 sqm	1963 sqft
DECK/PORCH AREA	93 sqm	1001 sqft
GRASS/ROOF AREA	186 sqm	2017 sqft
LANE AREA	186 sqm	2017 sqft
ORNAMENTAL ROCK	540 sqm	580 sqft
TOTAL LANDSCAPE	443 sqm	4,764 sqft



PROJECT: RESIDENTIAL DEVELOPMENT
 558 MEDEA STREET
 NANAIMO, BC

CLIENT:
 Kimo Enterprises
 Attn: Kim Sidel
 kimsidel@gmail.com

ARCHITECT:
 Elms Architect
 Jerry Elms
 250-247-8999
 jelm@elmsarch.com

LANDSCAPE DESIGNER:
 MYSTIC WOODS
 LANDSCAPE DESIGN
 4337 Gordon Rd
 Campbell River, BC V9H 1T3
 phone: 250-264-3217
 cell phone: 250-267-0160
 design@mysticwoods.ca



DESIGNER:
 Corinne Pashen CLD, HT
 Certified Landscape Designer
 Horticultural Technician
 Member of the
 BC LNA / CLNA

SCALE: 1:100

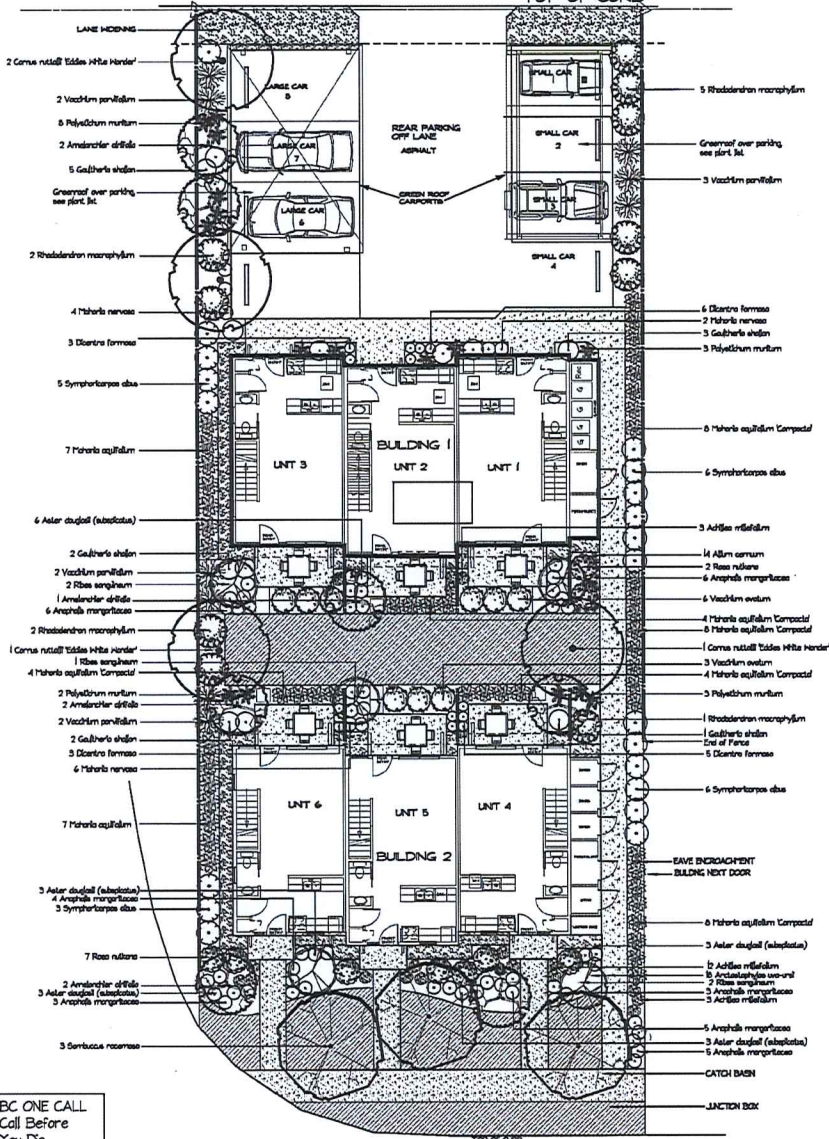
DATE: November 6, 2019
 Issued For: November 10, 2019 For Review
 Issued For: Nov 20, 2019 For Development Permit
 Issued For: March 2, 2020 For Development Permit
 Issued For: June 24, 2020 For Development Permit

RECEIVED
 DP 1184
 2020-JUN-24

DRAWING: LANDSCAPE MASTER PLAN
DRAWING #: 11 OF 3

LANE

TOP OF CURB

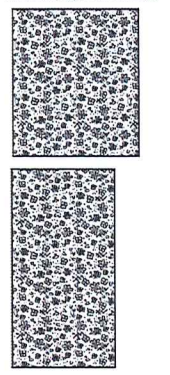


Qty	Botanical Name	Common Name	Size/Condition
4	<i>Arctostaphylos</i>	DRAGONFLY BERRY	# 7 pot or bigger
4	<i>Cornus nuttallii</i> 'Eddie's White Wonder'	EDDIE'S WHITE WONDER DOGWOOD	4 cm od EVD or pat.
3	<i>Sarcococca</i>	RED ELDERBERRY	# 7 pot or bigger
Shrubs			
15	<i>Galbanus shaban</i>	SALAL	# 1 pot.
14	<i>Hieracium aquilinum</i>	OREGON GRAPE HOLLY	# 2 pot.
15	<i>Hieracium aquilinum</i> Compact	COMPACT OREGON GRAPE HOLLY	# 2 pot.
10	<i>Rhododendron macrophyllum</i>	PACIFIC RHODODENDRON	# 2 pot.
5	<i>Ribes sanguinum</i>	RED FLOWERING CURRANT	# 5 pot.
4	<i>Rosa rubra</i>	NOOTKA ROSE	# 2 pot.
20	<i>Symphoricarpos alba</i>	NATIVE ENOCKSBERRY	# 1 pot.
4	<i>Vaccinium parvifolium</i>	EVERGREEN HUCKLEBERRY BUSH	# 2 pot.
4	<i>Vaccinium parvifolium</i>	RED HUCKLEBERRY BUSH	# 1 pot.
Herbaceous and Annuals			
15	<i>Asplenium nidus</i>	COFFIN TARRON	SPN - 10m pot.
14	<i>Allium acuminatum</i>	OLD GAVES	SPN - 10m pot.
32	<i>Anaphalis margaritacea</i>	PEARLY EVERLASTING	SPN - 10m pot.
4	<i>Aster douglasii</i> (subsp. alba)	DOUGLAS NATIVE ASTER	SPN - 10m pot.
17	<i>Claytonia formosa</i>	NATIVE BLEEDING HEART	SPN - 10m pot.
15	<i>Polystichum muratum</i>	SHEDDERS	# 1 pot.
Groundcovers			
15	<i>Arctostaphylos uva-ursi</i>	GINNICK	# 1 pot.
12	<i>Hieracium ranunc</i>	LOH OREGON GRAPE	# 1 pot.
Greenroof Plants			
15	<i>Allium acuminatum</i>	OLD GAVES	SPN - 10m pot.
15	<i>Anaphalis margaritacea</i>	PEARLY EVERLASTING	SPN - 10m pot.
15	<i>Arctostaphylos uva-ursi</i>	GINNICK	SPN - 10m pot.
15	<i>Aster douglasii</i> (subsp. alba)	DOUGLAS NATIVE ASTER	SPN - 10m pot.
15	<i>Saxifraga oppositifolia</i>	BROADLEAVED STONECROP	SPN - 10m pot.

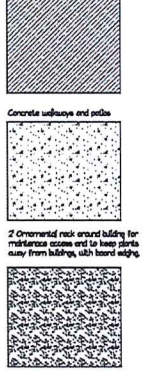
Water requirements are minimal to none, once plants have become established. Water will be required for the first two years during periods of drought, until the plants are fully rooted out.

DEER PROTECTION
While most of the plants are Deer resistant, young plants are susceptible to browsing and must be protected for the first two years until plants become established.
Any plants that show signs of browsing will be protected.
Protect using other Bases, Flarebells, or other proven effective remedy.

GARAGE GREENROOF PLANTING
15 of *Saxifraga oppositifolia*, *Arctostaphylos*, *Allium acuminatum*, *Anaphalis* and *Aster douglasii*

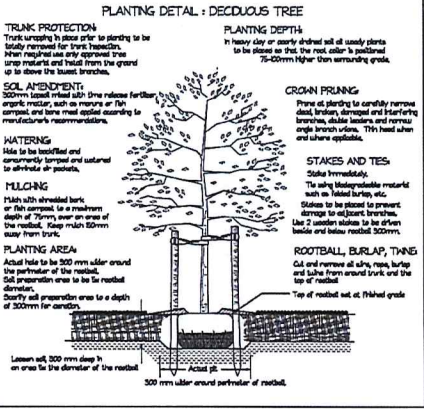
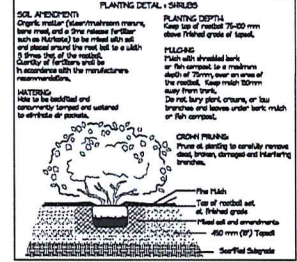


LANE's Fauna low maintenance blend



GRASS AREAS:
Lawn is to be seeded with a Low Water / High-Tolerance Fescue blend.
Low Maintenance Fescue seed blends are a blend of carefully selected fine fescue grasses, grasses in full sun, part shade and even deep shade.
Fescue lawns are highly drought tolerant, once established, and so irrigation during will be adjusted to once every two weeks during the summer months, in the second year.
Once well established, no additional water should be required, except in severe drought summers.
Fescue lawns require less fertilizing and can be left un-mown for a free-living carpet effect.
Mowing could be done once every few months if required to stay up, otherwise left natural.
Reducing the amount of mowing and watering required by this seed blend, is a huge environmental favour to our planet, preserving our environment and natural resources.

ACCEPTABLE SEED BLENDS:
Terrific: Vancouver Lawn Seed blend 4 of the Fescue Terrific, Abbotsford, BC, 1-800-441-4591
Hollyburn: Hollyburn Terrific, Abbotsford, BC, 1-800-435-868 or 604-484-8223
www.hollyburnseeds.com
Premier: Low Maintenance 1% Premier Pacific Seeds Ltd - Surrey, BC, 1-800-435-868 or 604-484-8223
www.premierseeds.com
RTF: Cedar Street Fescue Blend
RTF Cedar Street Fescue Blend
1-800-956-2272 ext 3



BC ONE CALL
Call Before
You Dig
1-800-474-6886
Cellular 46886

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Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with this plan.
If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS
150mm depth for shrub beds 450mm (60") 150mm depth for grassed areas 500mm (60") 150mm depth for lawn areas 500mm (60") 150mm depth for mulch 65-75mm (2.5-3") 150mm as per detail on these drawings.

LANDSCAPE AREA	sqm	sqft
TREES/SHRUB AREA	164 sqm	1753 sqft
GREENROOF AREA	48 sqm	517 sqft
LANE AREA	116 sqm	1257 sqft
ORNAMENTAL ROCK	500 sqm	538 sqft
TOTAL LANDSCAPE	448 sqm	4794 sqft

PROJECT: RESIDENTIAL DEVELOPMENT
550 MEDEA STREET
VANCOUVER, BC

CLIENT: Korus Developments
Alain Korus
korus@korus.com

ARCHITECT: EBN Architect
JERRY EBN
250-547-6996
@jerryebnarchitect

LANDSCAPE DESIGNERS:
MYSTIC WOODS
LANDSCAPE DESIGN
4737 Gordon Rd
Campbell River, BC, V9H 1T3
phone: 250-256-1527
cell: phone: 250-297-4120
design@mysticwoods.ca

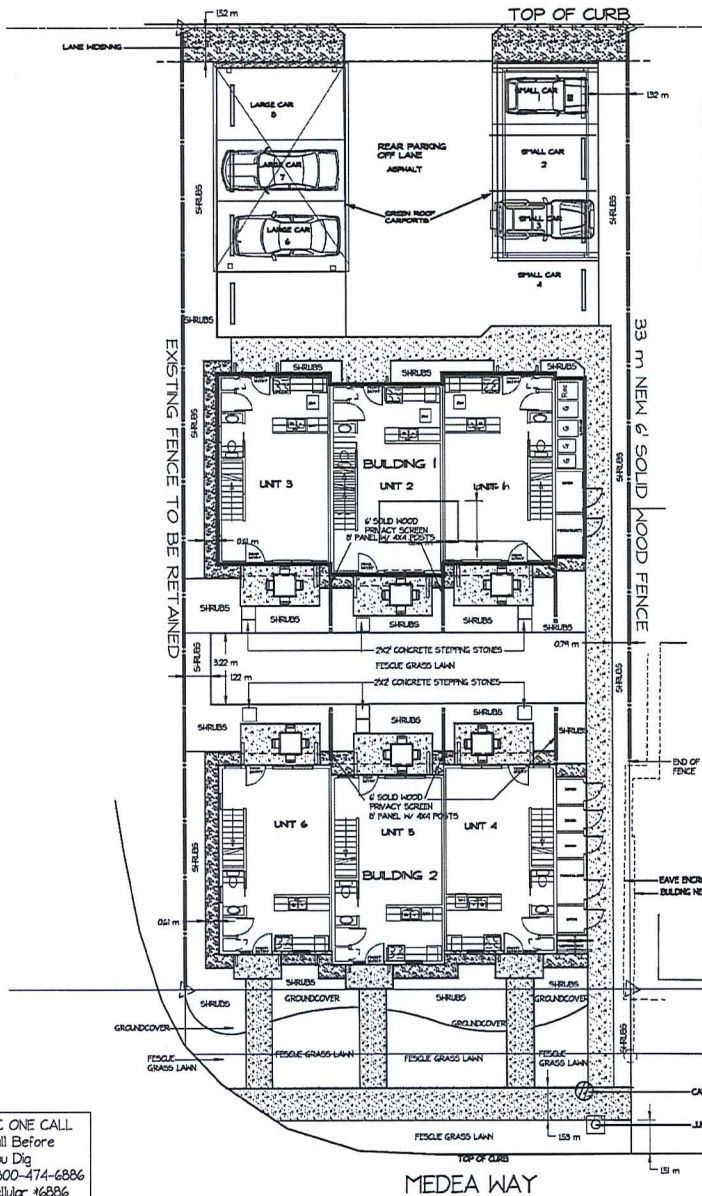
DESIGN BY: Corinne Fishman CLD, HT
Certified Landscape Designer
Horticultural Technician
Member of the BC LNA / C LNA

SCALE: 1:100 SCALE IN METERS
0 1 2 3 4 5

DATES: November 8, 2024
Issued For: November 12, 2024 For Review
Issued For: Nov 20, 2024 For Development Permit
Issued For: March 2, 2025 For Development Permit
Issued For: June 24, 2025 For Development Permit

DRAWING: LANDSCAPE PLANTING PLAN
DRAWING #: 12 of 5

LANE



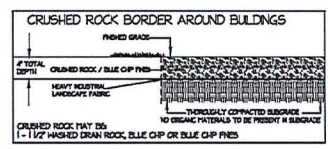
LANDSCAPE DESIGN - CONSTRUCTION PLAN
SCOPE OF WORK:
 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
 1. Site Preparation
 2. Finish grading and landscape drainage
 3. Installation of underground irrigation system
 4. Supply and placement of growing medium
 5. Testing growing medium and supply of add-ons (fertilizers) to meet requirements of soil test, and B.C. Landscape Standards
 6. Preparation of planting beds, supply of plant material and planting
 7. Supply and placement of the composted mulch on plant beds
 8. Preparation of lawn areas, supply of materials and sodding or hydroseeding Fescue lawn
 9. Provide growing medium and planting for green roof
 10. Supply and placement of ornamental rock and weed edging
 11. Installation of Fence on East property line
 12. Establishment Maintenance - for one year
 13. Other work required to complete landscape
 14. Leave site completely clean and tidy

GRASSING AND DRAINAGE
 The preparation of the subgrade shall, by rough grading and filling, provide a base that will allow the packing of growing medium to the specified depth. Fertilizer application should be free of visible clumps and lumps and provide for growing medium depths as set out on the landscape plan.
 Clods, rocks, twigs, stones, bedding materials, contaminated soil, visible weeds and anything else that may interfere with the proper growth and development of the planned finished landscaping shall be removed.
 Areas showing excessive compaction shall be scarified to a minimum depth of 1" (25mm) immediately before placing growing medium.
 All drains with landscape beds shall be surrounded by a minimum diameter of 2" (50mm) of drain rock to a depth of 1" (25mm) to prevent mulch floating into drainage system.

SITE PROTECTION
 All existing and new plants, site services, curbs, paving structures, fences and all other features shall be protected against damage during the work. Damage shall be reported and shall be completely repaired to the satisfaction of the Authority / Inspector.
ESTABLISHMENT MAINTENANCE
 The intent of establishment maintenance is to provide sufficient care to newly installed plant material for a period of one year from acceptance to ensure or increase the long-term success of the planting. The objective is the establishment of plants to a new site in order to obtain the desired effect from the planting while reducing the risk of failure and unnecessary work associated with improper establishment. Establishment maintenance procedures apply to all vegetation including:
 1. Cultivated turfgrass
 2. New trees, shrubs, and groundcovers
 Maintenance during the one-year guarantee period is essential to ensure the validity of any guarantee.

GUARANTEE
 The customary one year guarantee period for the construction industry is accepted as the standard for landscape work. The contractor shall guarantee all materials and workmanship for a period of one (1) year from the date of Substantial Performance (Acceptance). Inspections must be called for in order to achieve Substantial Performance.
INSPECTIONS TO BE CALLED FOR:
FIRST INSPECTION: to be called for after adequate preparation, and soil has been placed.
SECOND INSPECTION: after plants have been laid out, but prior to planting.
FINAL INSPECTION: to be called for, once completed. Once the plan has been approved by the City, no changes may be made to the plan without written approval of both the designer and the City.

IRRIGATION
 Irrigation to be done by hand hoses, and soaker hoses. Hoses shall be at each point and front entrance, to apply water as needed during periods of drought.



SOIL COMPOSITION FOR GROUND LEVEL PLANTING AREAS
TABLE 4-153 "GOOD" AND "MODERATE" SOIL COMPOSITION
 Percent of Dry Weight of Total Gravelly Medium

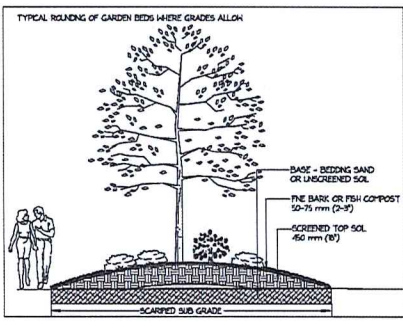
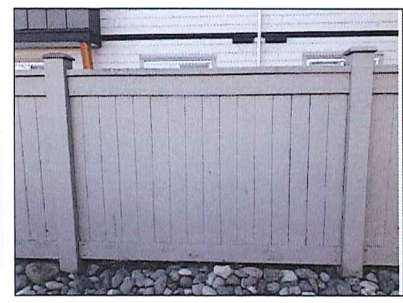
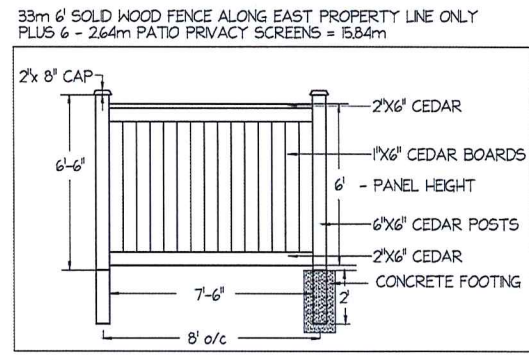
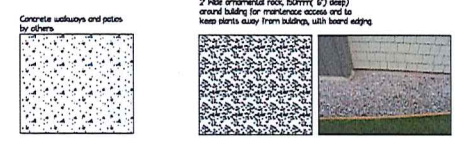
Coarse Gravel larger than 19mm, smaller than 40mm	0 - 15%
All Gravel larger than 20mm, smaller than 40mm	0 - 5%
Sand larger than 20mm, smaller than 2mm	0 - 20%
Silt larger than 200mm, smaller than 25mm	0 - 25%
Clay smaller than 200mm	0 - 25%
Clay and Silt combined	Maximum 50%
Organic content	0 - 20%
Acidity (pH)	4.5 - 6.5

Drainage: Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.

SOIL COMPOSITION FOR LOW TRAFFIC LAWN AREAS
TABLE 4-153 "GOOD" AND "MODERATE" SOIL COMPOSITION
 Percent of Dry Weight of Total Gravelly Medium

Coarse Gravel larger than 19mm, smaller than 40mm	0 - 15%
All Gravel larger than 20mm, smaller than 40mm	0 - 5%
Sand larger than 20mm, smaller than 2mm	0 - 20%
Silt larger than 200mm, smaller than 25mm	0 - 25%
Clay smaller than 200mm	0 - 25%
Clay and Silt combined	Maximum 50%
Organic content	0 - 20%
Acidity (pH)	6.0 - 7.0

Drainage: Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.



BC LANDSCAPE STANDARDS
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 Contractor to consult with designer regarding any discrepancies.
 Contractor to consult with designer if plant substitutions are required due to availability.
 Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.
 Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with 1% plan. If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS

Minimum depth for shrub beds 400mm (16")	
Minimum depth for grasses/soil 500mm (20")	
Minimum depth for green roof 120mm (4 7/8")	
Minimum depth for lawn areas 100mm (4")	
Minimum depth for mulch 60-75mm (2 3/8-3")	

Trees as per detail on these drawings.

LANDSCAPE AREA

LANDSCAPE AREA	164 sqm	(163 sqft)
TREE PLANTED AREA	48 sqm	(241 sqft)
GREENROOF AREA	98 sqm	(1050 sqft)
LAWN AREA	186 sqm	(2017 sqft)
ORNAMENTAL ROCK	500 sqm	(530 sqft)
TOTAL LANDSCAPE	448 sqm	(4781 sqft)



PROJECT: RESIDENTIAL DEVELOPMENT
 558 MEDEA STREET
 NANAIMO, BC

CLIENT:
 Karco Enterprises
 Allan Karo (Rtd)
 karocorp@telus.net

ARCHITECT:
 ERM Architect
 Jarry ERM
 250-247-8996
 @ermarchitect

LANDSCAPE DESIGNER:
 MYSTIC HOODS
 LANDSCAPE DESIGN
 4737 Gordon Rd
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 phone 250-296-1527
 cell phone 250-267-4160
 design@mystichoods.ca

DESIGN BY:
 Corinne Fishburne CLD, HT
 Certified Landscape Designer
 Horticultural Technician
 Member of the BCNA / CLNA

SCALES: 1:100 SCALE IN METERS
 0 1 2 3 4 5

DATES: November 8, 2019
 Issued for review: November 12, 2019
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DRAWING: LANDSCAPE DESIGN / DETAILS PLAN
DRAWING #: LS of 3

BC ONE CALL
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 You Dig
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 Cellular #6886