



**DEVELOPMENT PERMIT NO. DP001252**

**1302793 B.C. LTD**

**Name of Owner(s) of Land (Permittee)**

**515, 529, 635 TERMINAL AVENUE N**

**Civic Address (es)**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOTS A AND B, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT,  
PLAN 6510**

**PID Numbers: 005-865-921 / PID 005-865-972**

**LOT 5, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT, PLAN 4748  
PID Number: 004-010-574**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site and Parking Plans**

**Schedule C Building Elevations and Details**

**Schedule D Cross Sections**

**Schedule E Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 14.0m to 15.5m.

### CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by Matthew T Hansen Architect, dated 2022-MAY-23, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Matthew T Hansen Architect, dated 2022-JUN-01 and 2022-MAY-23 as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Prospect & Refuge Landscape Architects, dated 2022-MAY-24, as shown on Schedule E.
4. The subject properties must be consolidated into a single property prior to Building Permit issuance.
5. Registration of a 2.5m-wide Statutory Right-of-Way (SRW) as shown on Attachment D prior to building permit issuance for future road improvements along the Terminal Avenue frontage.
6. Registration of a 7.0m-wide SRW prior to building permit issuance for future public access through the site across the "future lane", as shown on Schedule C.
7. Registration of a Section 219 Covenant prior to building permit issuance to require:
  - a) closure of the vehicle drive aisle between the future lane and Terminal Avenue at such a time as the lane is completed with vehicle access to either Cypress Street or Townsite Road; and

- b) future development on the closed drive aisle to be in substantial compliance with the "Landscape Long-Term Plan" prepared by Prospect & Refuge Landscape Architects, dated 2022-MAY-24, as shown on Sheet L2.3 of Schedule E.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 20TH DAY OF JUNE, 2022.

  
Corporate Officer

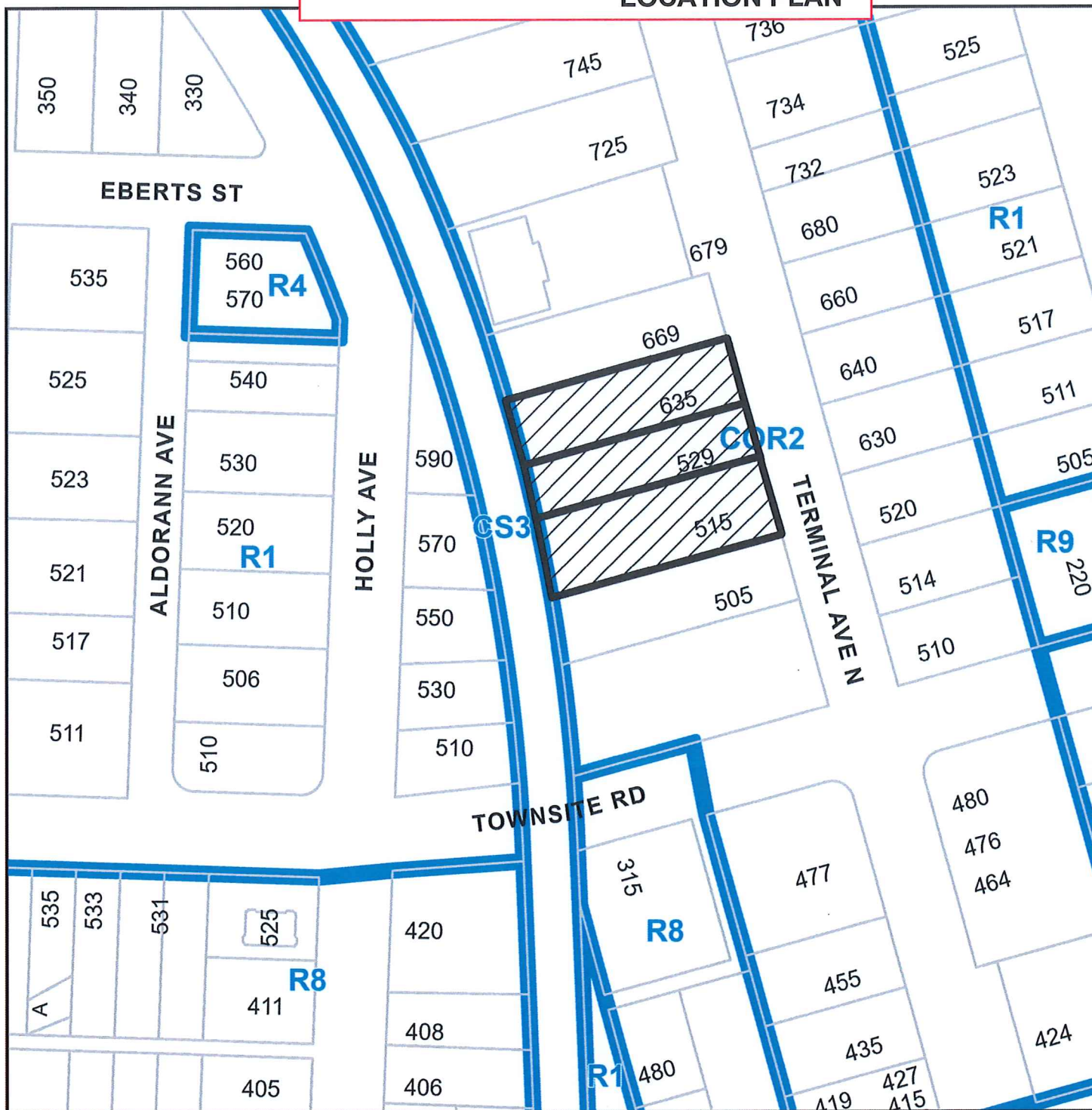
  
Date

CH/mb

Prospero attachment: DP001252

Development Permit No. DP001252 Schedule A  
515, 529, 635 Terminal Avenue

### LOCATION PLAN



### DEVELOPMENT PERMIT APPLICATION NO. DP001252



**Subject Property**

CIVIC: 515, 529 and 635 TERMINAL AVENUE

LEGAL: LOT 5, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT, PLAN 4748; LOTS A AND B, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT, PLAN 6510;



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shall have precedence over verbal dimensions. Contractor will  
verify and shall be responsible for all dimensions and conditions  
on the job and the contractor shall be informed of any variations  
from the dimensions and conditions as shown on this drawing.

**THE STATION**

ADDRESS: 529 Terminal Avenue N, Nanaimo, BC  
Legal Description: Lot A and B Plan 6510, Lot 6 Plan 4748

No.	Date	Issue Notes
51	2021-10-07	DP APPLICATION
52	2021-11-18	DP PRE-DEVELOPMENT
53	2022-01-24	DP PRE-DEVELOPMENT
54	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes

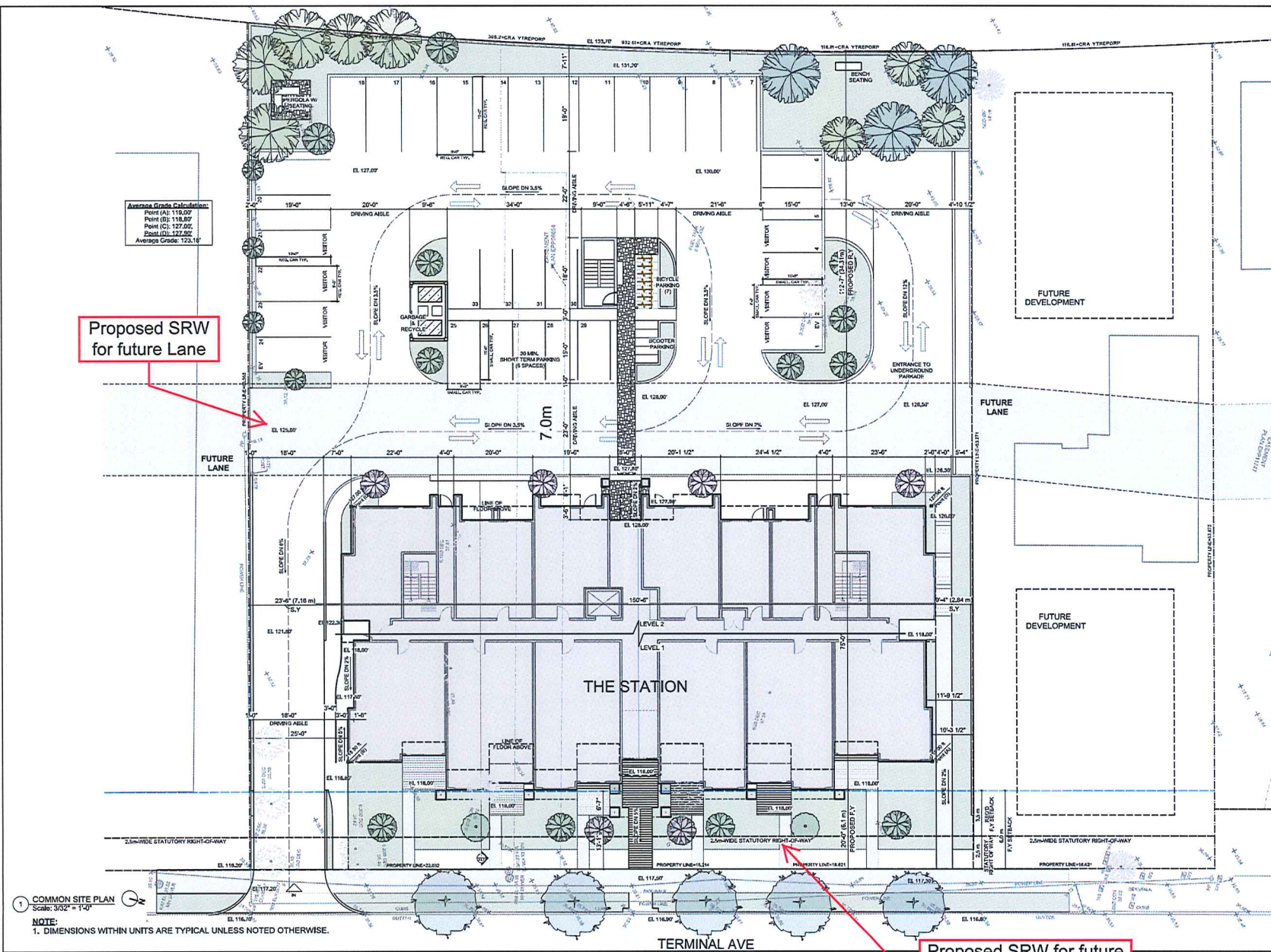
Sheet Title:  
**SITE PLAN**

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.:
Scale: AS NOTED	<b>A1.0</b>
Date: May 23, 2022	CAD File: TBD

**Average Grade Calculation:**  
Point (A): 118.60'  
Point (B): 118.80'  
Point (C): 127.00'  
Point (D): 122.00'  
Average Grade: 123.10'

Proposed SRW  
for future Lane

Proposed SRW for future  
Road Improvements



1 COMMON SITE PLAN  
Scale: 3/32" = 1'-0"

NOTE:  
1. DIMENSIONS WITHIN UNITS ARE TYPICAL UNLESS NOTED OTHERWISE.

**RECEIVED**  
**DP1252**  
**2022-MAY-24**  
Current Planning

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**THE STATION**

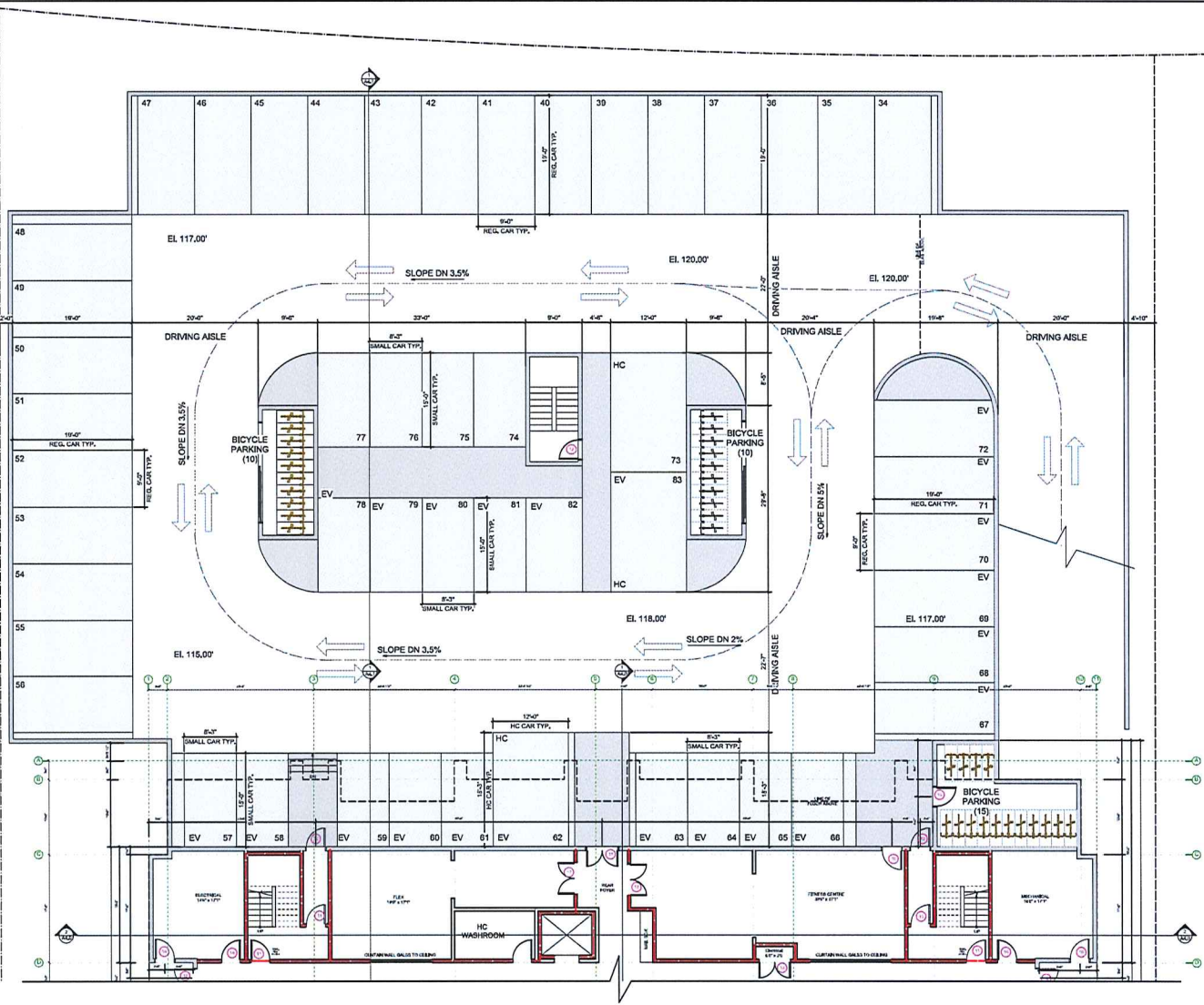
Legal Description: Lot A and B Plus 6510, Lot 5, Plan 4748  
ADDRESS: 529 Terminal Avenue N. Nanaimo, BC

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-16	DP REG-SUBMISSION
03	2022-01-04	DP REVISION
04	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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Sheet Title:  
**UNDERGROUND  
PARKADE**

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.:
Scale: AS NOTED	<b>A2.0</b>
Date: May 23, 2022	
GDW File: TBD	



1 UNDERGROUND PARKADE  
Scale: 1/8" = 1'-0"  
NOTE:  
1. DIMENSIONS WITHIN UNITS ARE TYPICAL UNLESS NOTED OTHERWISE.

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**DP 1252**  
2022-MAY-24  
Current Planning



# BUILDING ELEVATIONS AND DETAILS

Requested Height Variance



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

Note:  
1. Dimensions within units are typical unless noted otherwise.

**FINISHING MATERIAL LEGEND:**

1	HARDY PANEL (SMOOTH)
2	CEDAR PANEL
3	BOARD AND BATTEN
4	BRICK VENEER
5	FACIA AND FLASHING
6	CEDAR SHUFFLE (ENGLISH PORTER)
7	WINDOW TRIM
8	FINISHED CONCRETE
9	ALUMINUM DECK PALING W/ GLASS
10	CONCRETE CAP
11	ALUMINUM WINDOW

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**THE STATION**  
ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 6510, Lot B Plan 4246

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-15	DP RE-SUBMISSION
03	2022-01-24	DAP REVISION
04	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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DP 1252  
2022-JUN-01  
City of Nanaimo

Sheet Title:  
**ELEVATIONS**

Drawn: JC  
Checked: MTH

Job No.: TBD  
Sheet No.:

Scale: AS NOTED **A3.0**

Date: JUN 1, 2022

CAD File: TBD



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**THE STATION**  
ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 6510, Lot 15 Plan 4718

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-16	DP RE-SUBMISSION
03	2022-05-24	DP REVISION
04	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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DP 1252  
2022-JUN-01

Sheet Title:  
**ELEVATIONS**

Drawn: JC	Checked: MTH
Job No: TBD	Sheet No: <b>A3.1</b>
Scale: AS NOTED	Date: Jun 1, 2022
CAD File: TBD	



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**FINISHING MATERIAL LEGEND**

1	SHARD PANEL (SMOOTH)
2	CESAR PANEL
3	BOARD AND BATTEN
4	BRICK VENEER
5	FACED AND FLASHING
6	CESAR GORFF (ENGLISH PORTER)
7	WINDOW TRIM
8	FINISHED CONCRETE
9	ALUMINUM DECK (SLAB TO GLASS)
10	CONCRETE CAP
11	ALUMINUM WINDOW

Note:  
1. Dimensions within units are typical unless noted otherwise.

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**THE STATION**

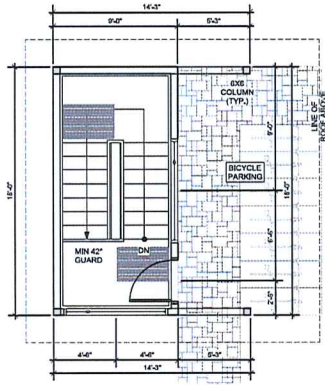
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Legal Description: Lot A and B Plan 6510, Lot S Plan 4748

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-15	DP RE-SUBMISSION
03	2022-04-04	DAP REVISION
04	2022-05-23	DP COMP. LETTER REPLY

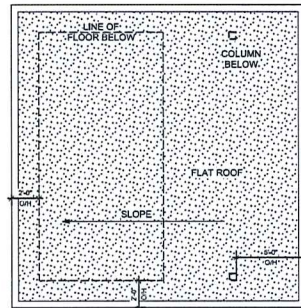
No.	Date	Revision Notes

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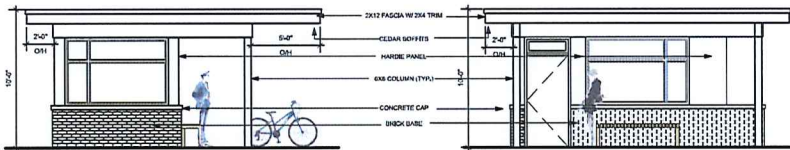
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Date: May 23, 2022	
CAD File: TBD	



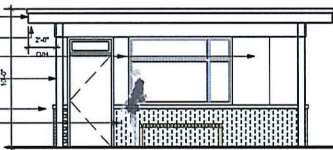
1 STAIR ENCLOSURE PLAN  
Scale: 1/4 = 1'-0"



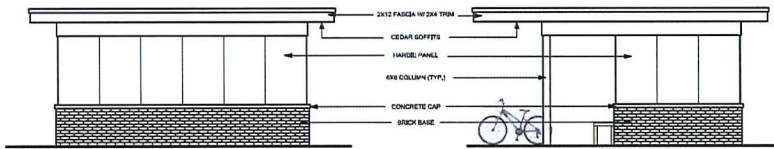
2 STAIR ENCLOSURE ROOF  
Scale: 1/4 = 1'-0"



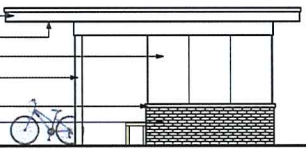
3 STAIR ENCLOSURE EAST ELEVATION  
Scale: 1/4 = 1'-0"



4 STAIR ENCLOSURE NORTH ELEVATION  
Scale: 1/4 = 1'-0"

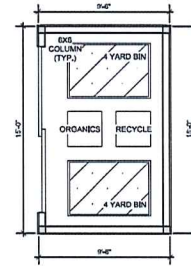


5 STAIR ENCLOSURE SOUTH ELEVATION  
Scale: 1/4 = 1'-0"

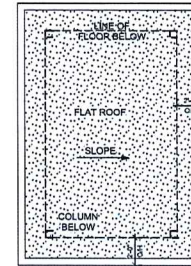


6 STAIR ENCLOSURE WEST ELEVATION  
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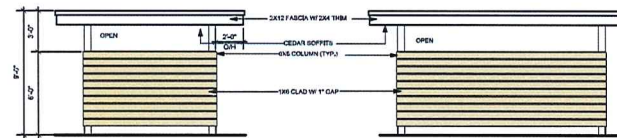
STAIR ENCLOSURE



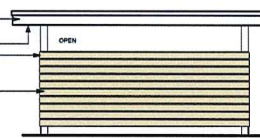
7 REFUSE RECEPTACLE ENCL. FLOOR PLAN  
Scale: 1/4 = 1'-0"



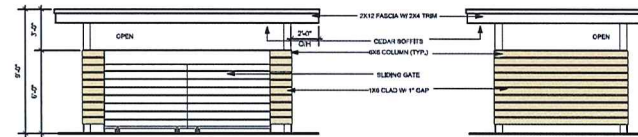
8 REFUSE RECEPTACLE ENCL. ROOF PLAN  
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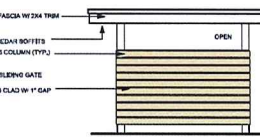
9 REFUSE RECEPTACLE ENCL. EAST ELEVATION  
Scale: 1/4 = 1'-0"



10 REFUSE RECEPTACLE ENCL. NORTH ELEVATION  
Scale: 1/4 = 1'-0"



11 REFUSE RECEPTACLE ENCL. SOUTH ELEVATION  
Scale: 1/4 = 1'-0"



12 REFUSE RECEPTACLE ENCL. WEST ELEVATION  
Scale: 1/4 = 1'-0"

REFUSE RECEPTACLE ENCLOSURE





Black

FASCIA & FLASHING

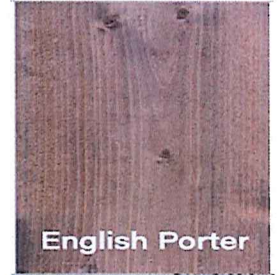


Architectural Bronze

WINDOW TRIM



BUILDING FACADE



English Porter

CEDAR SOFFIT



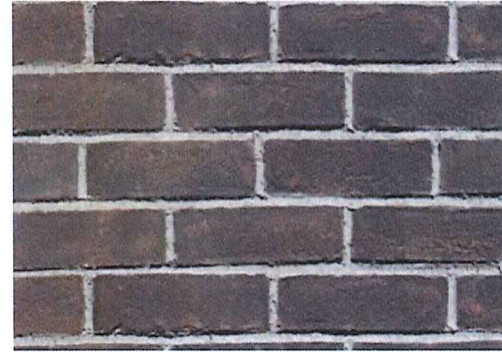
CEDAR PANEL



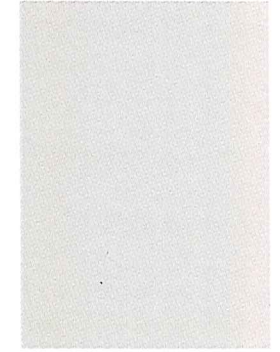
ALUMINUM WINDOW



DECK RAILING



BRICK CLADDING



SMOOTH PANEL

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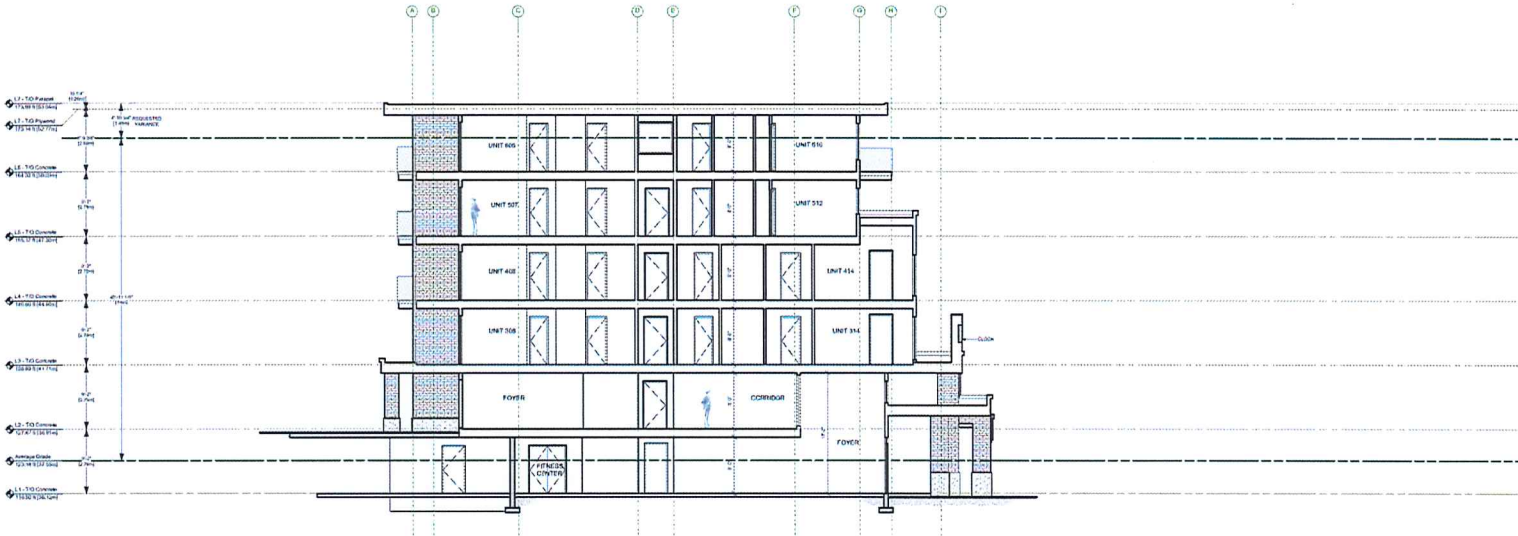
2022-JUN-06

**parkshore**  
Projects Ltd.

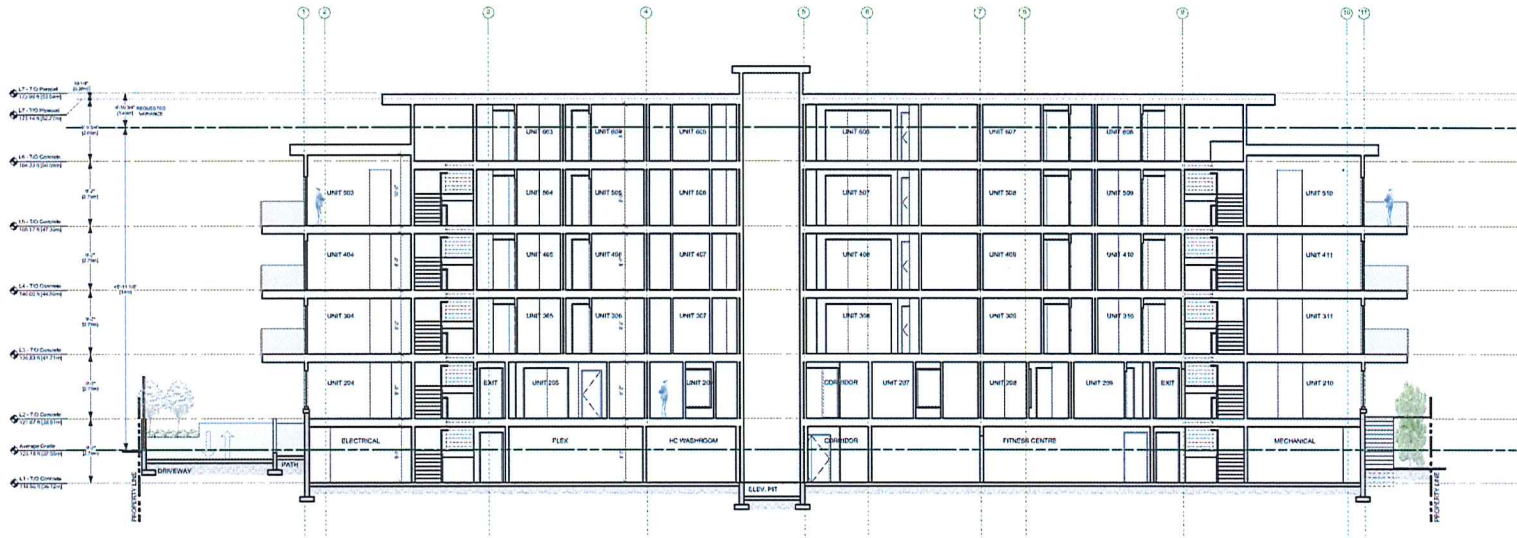
**MATTHEW T. HANSEN**  
architect

# MATERIAL & COLOUR SAMPLES

CROSS SECTIONS



1 Section  
Scale: 1/8" = 1'-0"



2 Section  
Scale: 1/8" = 1'-0"

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**THE STATION**

ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 6510, Lot 9 Plan 4746

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-19	DP RE-SUBMISSION
03	2022-01-24	DP REVISION
04	2022-05-21	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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**DP 1252**  
2022-JUN-01  
CITY OF NANAIMO

Sheet Title: <b>SECTIONS</b>	
Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.:
Scale: AS NOTED	<b>A4.0</b>
Date: Jun 1, 2022	
CAD File: TBD	



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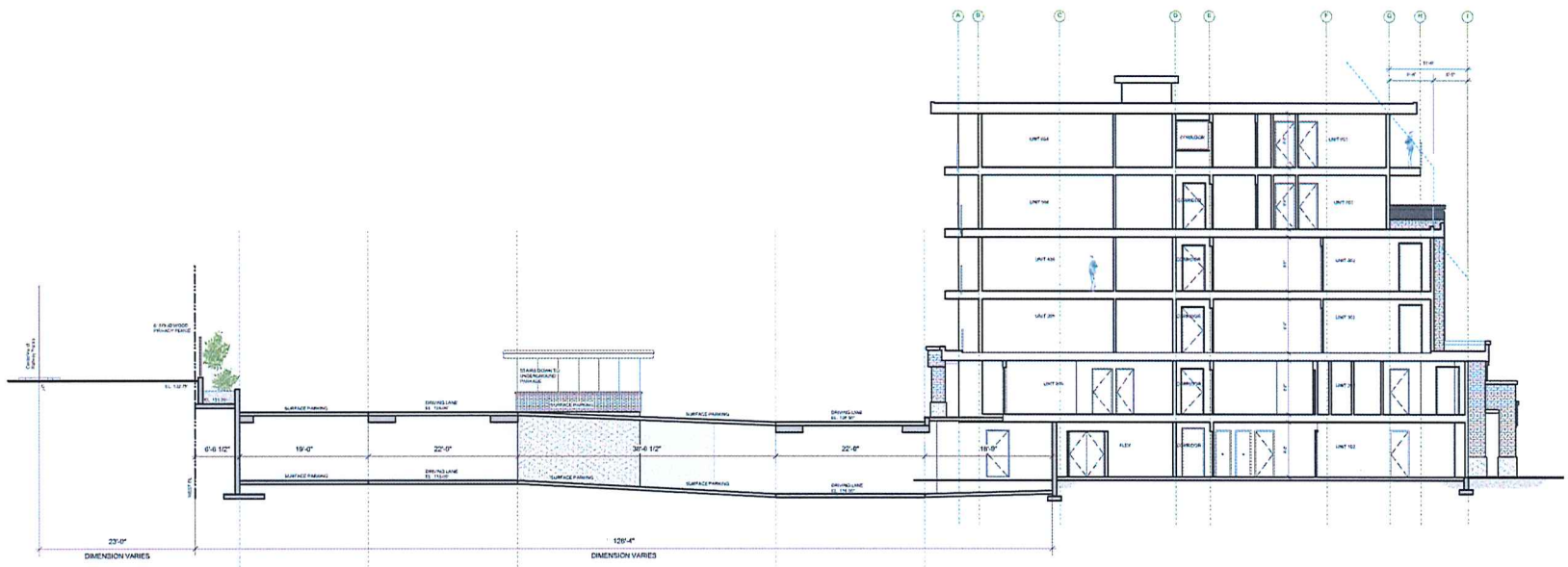
**THE STATION**  
ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 6510, Lot 9 Plan 4746

No.	Date	Issue Notes
01	2021-10-07	DIP APPLICATION
02	2021-11-16	DIP RE-SUBMISSION
03	2022-01-24	DIP REVISION
04	2022-05-23	DIP COMP. LETTER REPLY

No.	Date	Revision Notes
<b>RECEIVED</b> <b>DP 1252</b> <b>2022-JUN-01</b> <small>CURRANT DESIGN</small>		

Sheet Title:  
**SECTIONS**

Drawn: JC	Checked: MTH
Job No: TBD	Sheet No.:
Scale: AS NOTED	<b>A4.1</b>
Date: Jun 1, 2022	
CAD File: TBD	



1 Site Section  
Scale: 1/8" = 1'-0"

**LANDSCAPE PLAN AND DETAILS**



Curved Lawn with Layered Planting




6' Solid Board Fence with Lighter Top



Metal Picket Fence w/ low planting and hedge on Terminal



Pergola w/ seating in amenity area

E	2022-05-24	Re-issued for DP
D	2022-01-27	Issued for Review
C	2021-11-02	Issued for DP
B	2021-11-04	Issued for Review
A	2021-11-01	Issued for Review
Date	Issue Notes	
		
<b>Prospect &amp; Refuge</b> LANDSCAPE ARCHITECTS <small>405 West 1st Street, Vancouver, BC V6C 1G5                  604-681-1033   info@prospectandrefuge.ca                  Registered under the Society of Professional Landscape Architects, BC</small>		
Project Title/Address: <b>The Station</b> 529 Terminal Avenue N. Nanaimo, BC		
Project No: Illustrative Plan	Project No: AS	Project No: 2021-47
Project No: NR	Project No: AS	Project No: As Noted
Date: 2021-10-26	<b>RECEIVED</b> 12:11:27 PM '22 2022-MAY-24	
		<b>L2.1</b>



**LEGEND**

**HARDSCAPE MATERIALS:**

- 24" x 24" Teasda HydroPressed slab pavers Color: Desert Sand
- 24" x 24" Teasda HydroPressed slab pavers Color: Tan
- Abbeford Concrete Products, Pacific slab Colour: Granite Blend pattern: ashlar
- Stamped concrete
- PIP concrete paving
- Perimeter gravel strip

**SOFTSCAPE MATERIALS:**

- Planting Bed
- Sodded lawn

**LINE & SYMBOLS**

- Property Line
- Architectural Dish
- 2'-4" High metal guardrail
- 4" High metal fence
- 6" High Solid wood privacy screening

**DETAILS**

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E	2022-05-24	Re-issued for DP
D	2022-01-27	Issued for Review
C	2021-11-02	Issued for DP
B	2021-11-02	Issued for Review
A	2021-11-01	Issued for Review

Date	Issue Notes

**Prospect & Refuge**

LANDSCAPE ARCHITECTS

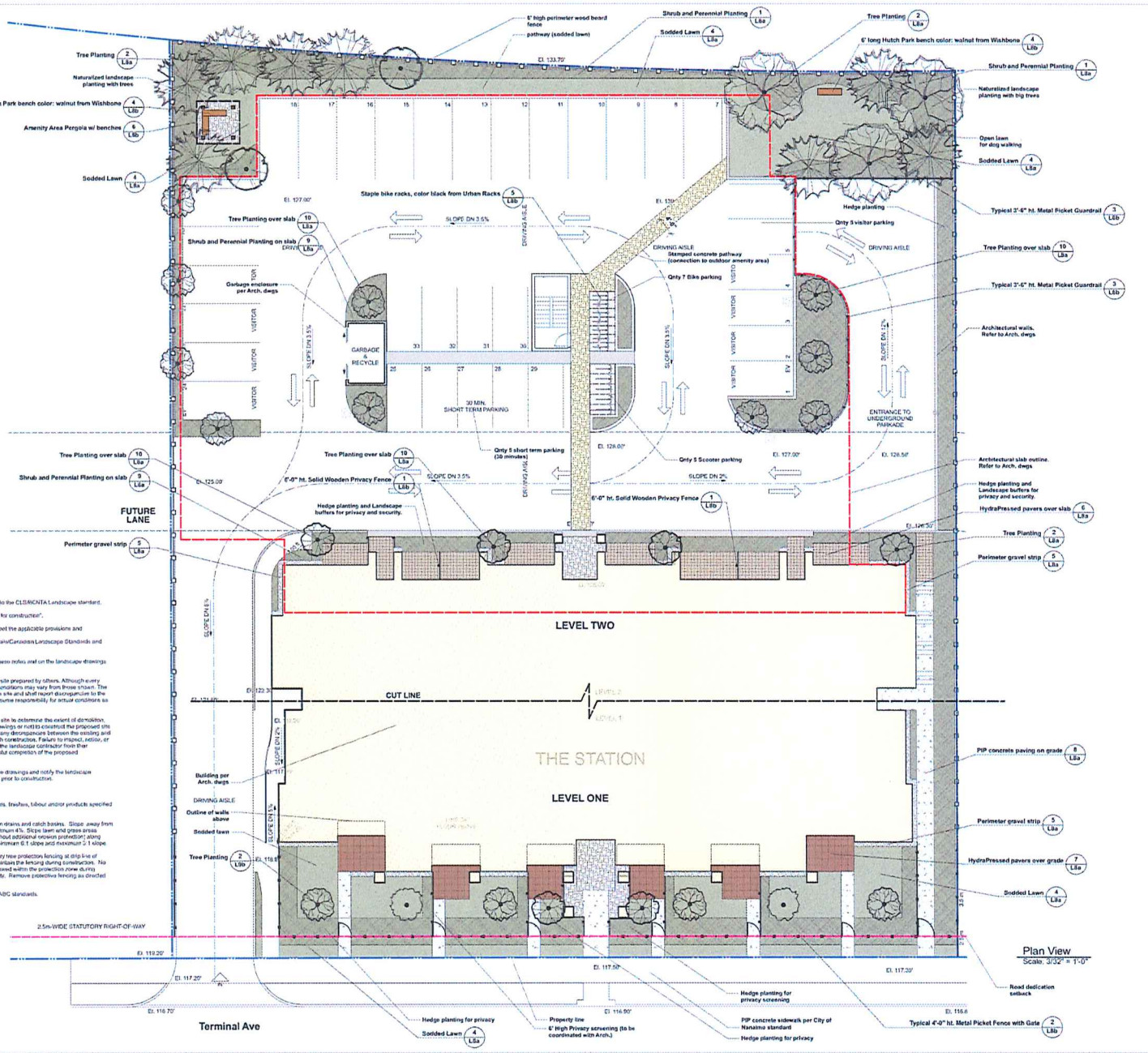
450-663-1233

529 Terminal Avenue N. Nanaimo, BC

**RECEIVED**  
DP 1252  
2022-MAY-24

Project No: 2021-47  
Client: NR  
Scale: As Noted  
Date: 2021-10-26

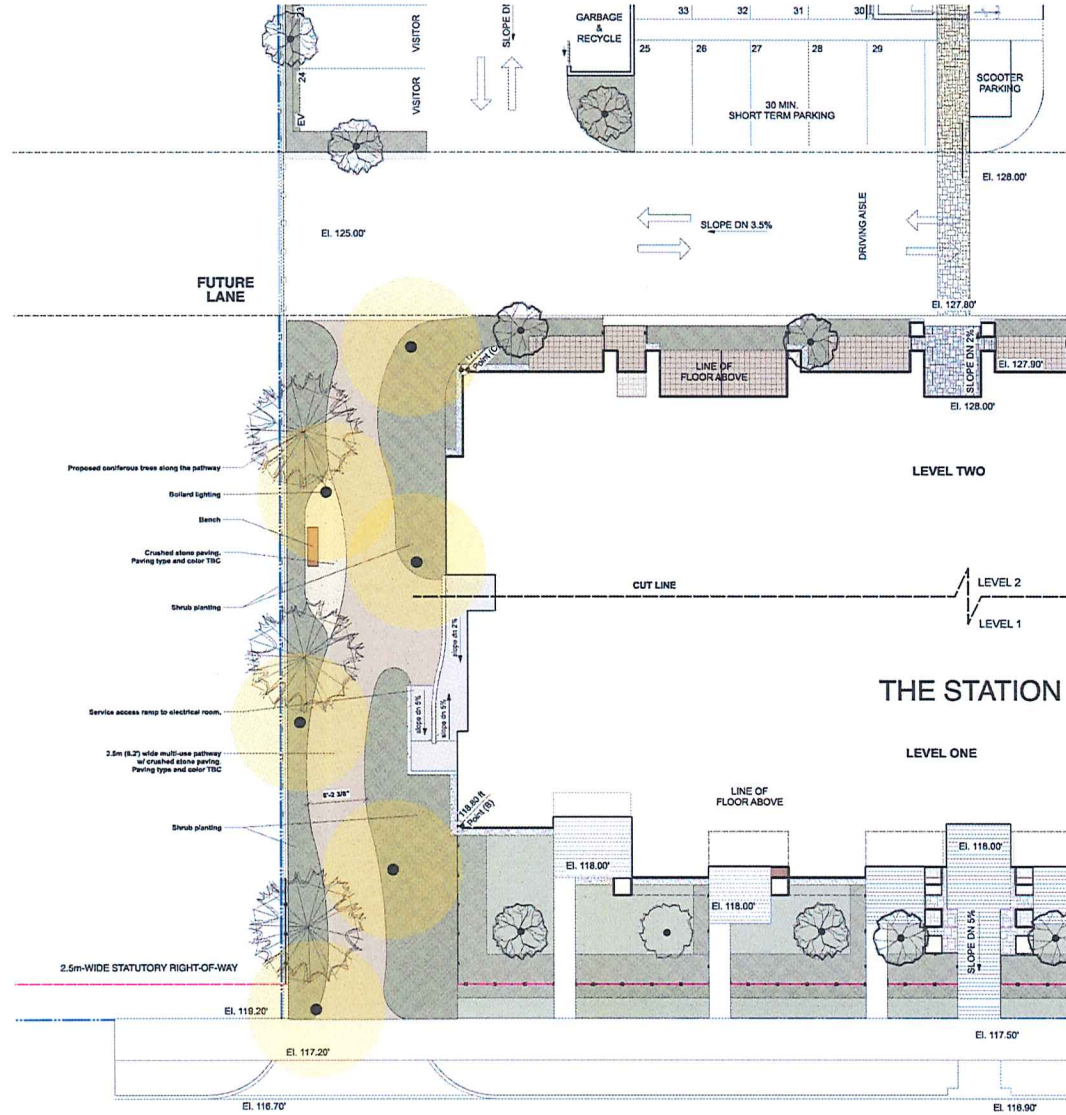
**L2.2**



- GENERAL LANDSCAPE NOTES:**
- All materials and execution of landscape work shall conform to the CLS/ICHTA Landscape standard.
  - Do not construct from these drawings unless marked "Issued for construction".
  - All landscape works to be performed under this contract to meet the applicable provisions and recommendations.
  - Refer to the Master Manual of Specifications & Standards Detail/Canadian Landscape Standards and respect all Municipal Bylaws.
  - The lines section of the standards and codes referenced in these notes deal on the landscape drawings hierarchy.
  - The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
  - The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, report, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any change to fee.
  - The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
  - Contractor to repair any damage resulting from work on site.
  - The landscape contractor shall refer any questions on materials, finishes, labour or product specifications herein to the landscape architect.
  - Provide positive grades away from buildings and sodded lawn drains and catch basins. Slope away from building at a maximum of 2%. Slope towards lawn drains at minimum 4%. Slope lawn and grass areas minimum 2%, and maximum 1% slopes. Slope grass areas without sodded lawn protection along outer maximum 1% and maximum 10% and along side slopes between 6% slope and maximum 2% slope.
  - Protection of existing trees/rocks to remain: install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the hedges during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone & any construction work shall be done to the outside. Remove protective fencing as directed and landscape as directed.
  - All landscaping to have high efficiency irrigation system to SAEC standards.

Plan View  
Scale: 3/32" = 1'-0"





**GENERAL LANDSCAPE NOTES:**

- All materials and execution of landscape works shall conform to the C.I.S.N.C.T.A. Landscape standard.
- Do not construct from these drawings unless marked "saved for construction".
- All landscape work to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Details/Canadian Landscape Standards and respect all Municipal Bylaws.
- The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
- The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
- The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preservation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to report, notice, or report these discrepancies prior to construction shall not release the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
- The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
- Contractor to repair any damage resulting from work on site.
- The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slope. Slope grass terraces (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
- Inspection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing trees, trees and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is done in the vicinity. Remove protective fencing as directed and landscape as directed.
- All landscaping to have high efficiency irrigation systems to BASC standards.

LEGEND		DETAIL
	24" x 24" Texada Hydr/Pressed slab pavers Colour: Desert Sand	1 2
	24" x 24" Texada Hydr/Pressed slab pavers Colour: Tan	3 4
	Abbotford Concrete Products, Pacifica series Colour: Granite Blend pattern: eather	
	Stamped concrete	
	PIP concrete paving	5 6
	Perimeter gravel strip	
<b>SOFTSCAPE MATERIALS:</b>		
	Planting Bed	7 8
	Boddied lawn	9 10
<b>LINE &amp; SYMBOLS</b>		
	Property Line	
	Architectural Slab	
	3-4" high metal guardrail	
	4" high metal fence	
	6" high solid wood privacy screening	

Date	Issue Notes
E 2022-05-24	Re-issued for DP
D 2022-01-23	Issued for Review
C 2021-11-09	Issued for DP
B 2021-11-04	Issued for Review
A 2021-11-01	Issued for Review

**Prospect & Refuge**

LANDSCAPE ARCHITECTS  
 4700 West 2nd Avenue Vancouver BC V6L 1Y5  
 604-469-1203 info@prospectandrefuge.ca  
 Building number 200 units of multi-family in 2020/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

The Station  
 679 Terminal Avenue N. Nanaimo, BC  
 RECEIVED DP 1.25.22  
 2022-MAY-24

Landscape Long-term Plan (Drive site's ultimate future use)	
Project No. 2021-47	Scale 1/8" = 1'-0"
Client AS	Team
Designer NR	Project No.
Author AS	Project No.
Date 2021-10-26	Project No.

L2.3



PLANT LIST	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES</b>					
2-Pe	<i>Asier artemisifolia</i>	Phonetic Maple	2	3cm cal.	B & B
2-Pe	<i>Asier palmatum</i>	Japanese Maple	6	1.25m #20 pot	Cont.
2-Pe	<i>Negundo aceris</i>	Star Magnolia	2	40 pot	Cont.
2-Pe	<i>Wickstroemia</i>	Sequoia Spruce	6	40 pot	B & B
2-Pe	<i>Wickstroemia</i>	Sequoia Spruce	2	40 pot	Cont.
2-Pe	<i>Wickstroemia</i>	Sequoia Spruce	17	40 pot	B & B
<b>SHRUBS</b>					
4-Sp	<i>Arctostaphylos uva-ursi</i>	Firecrest	333	40 pot	Cont.
4-Sp	<i>Calluna vulgaris</i>	Calluna heath	372	100cm pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	184	40 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	445	40 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	24	40 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	8	40 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	69	40 pot in 15.84 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	40	40 pot	Cont.
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	15	40 pot	Cont. (M & Family)
4-Sp	<i>Leucosiphon saccatum</i>	Leucosiphon	303	1.25m pot	Cont.
<b>GROUNDCOVER</b>					
1-Ag	<i>Leucosiphon saccatum</i>	Leucosiphon	25	40 pot	Cont.

- PLANTING LANDSCAPE NOTES**
- All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) or a minimum acceptable standard. Refer to drawings for complete landscape documentation.
  - Plant material to be installed shall conform to the Landscape Standards for nursery stock. Extensive search for plant material to be made in the Vancouver area.
  - Top soil material for the project shall be tested for pH, and nutrient levels, and recommendations provided and amendments made to bring the soil to acceptable horticultural quality for the desired plant material, trees, or turf during. Process verification of fertilizer and lime applications and rates during the installation and maintenance periods. Soil analysis to be provided to the landscape contractor for review and comment prior to delivery on site. Soil report shall be on-site within one month.
  - Top soil minimum soil depths are as follows unless noted differently on plans:  
 4" (100mm) for lawn areas  
 10" (250mm) for shrub beds  
 20" (500mm) for trees
  - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and fresh grading. Soils compacted subgrades to a minimum depth of 4" (100mm) immediately before placing growing medium.
  - All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for container stock.
  - Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to planting plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
  - All plant material to be supplied on the job site must be obtained from a nursery participating in the BCNA Phytophthora Resistant Certification Program. Plant material provided by the contractor found to be carrying it will be removed and replaced at the contractor's expense.
  - Obstructions - If obstructions or other concrete obstructions to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on-site and field support is determined where applicable.
  - Plants shall be nursery grown under similar conditions similar to those in the landscape. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be grown prior to delivery without written approval.
  - Root balls to be free of pernicious weeds.
  - Install 2" (50mm) of composted organic mulch on all sites both after planting and rake smooth.
  - Landscape Contractor is to provide 90 days of maintenance after the date of Substantial Completion. Maintain to level 2 (defined as per Canadian Landscape Standards). Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
  - The Landscape Consultant is to approve any plant material substitutions. Upon delivery, the plant material must meet CLS standards.
  - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
  - All landscaping to have high efficiency irrigation system to SABC standards.

Plan View  
Scale: 3/32" = 1'-0"

E	2022-05-24	Re-issued for DP
D	2022-01-27	Issued for Review
C	2021-11-02	Issued for DP
B	2021-11-04	Issued for Review
A	2021-11-01	Issued for Review

Date	Issue Notes

### Prospect & Refuge

LANDSCAPE ARCHITECTS  
 #10-1100 BROADVIEW AVENUE  
 VANCOUVER, BC V6A 1K1  
 PHONE: 604-681-1003 FAX: 604-681-1004  
 EMAIL: info@prospectandrefuge.ca  
 WEBSITE: www.prospectandrefuge.ca

Project Name: The Station  
 529 Terminal Avenue N. Nanaimo, BC  
 RECEIVED 13:57:25 2022-MAY-24

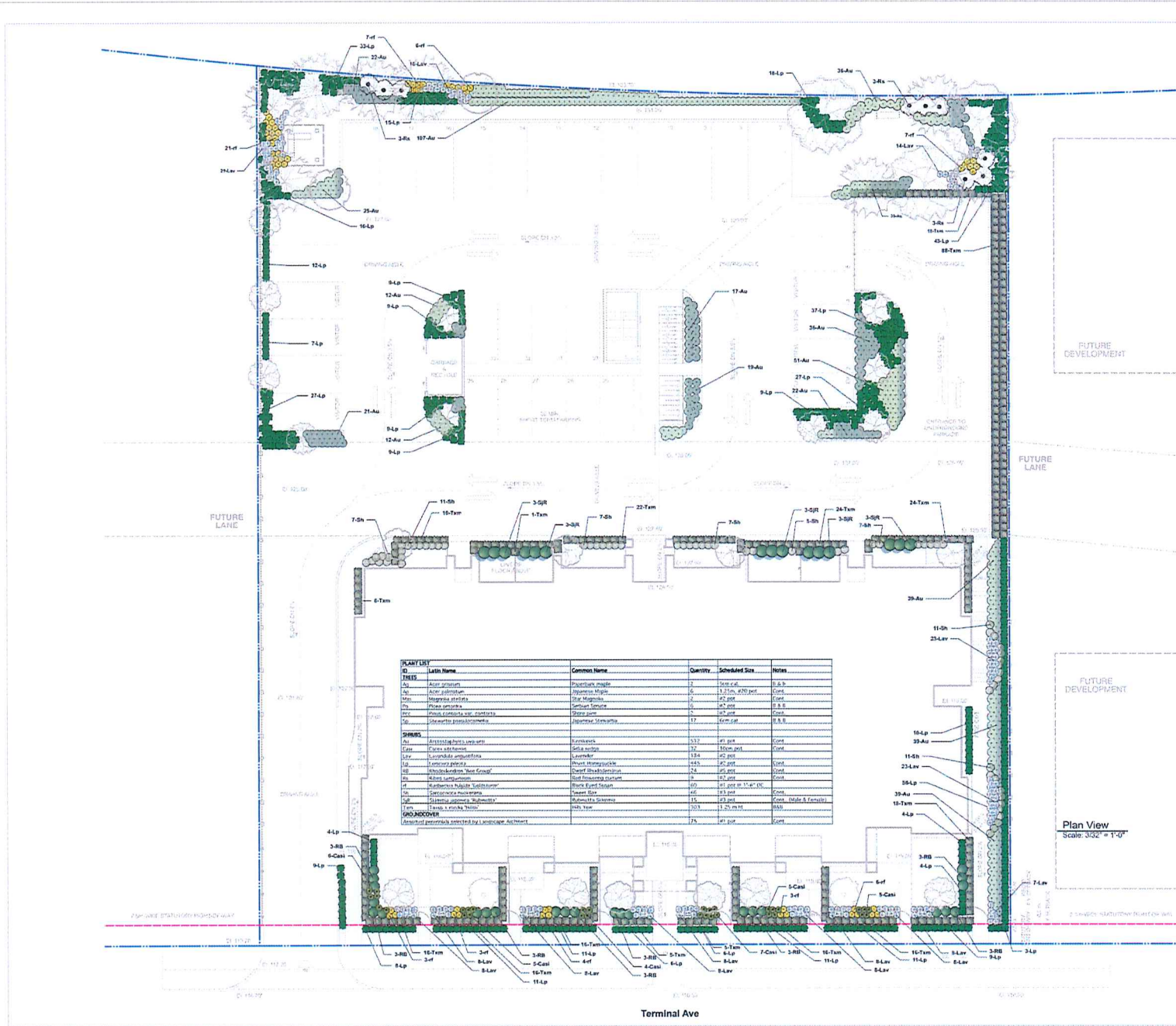
Project Title: Landscape Tree Planting

Drawn by: AS	Issued on: 2021-07
Checked by: NR	Date: As Noted
Approved by: AS	

L3.1

2021-10-26





- PLANTING LANDSCAPE NOTES**
- All materials and sections of landscape levels shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
  - Plant material to be substituted for the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
  - Top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material. Trees, or turf planting. Photos verification of texture and soil applications and color during the installation and maintenance periods. Soil analysis to be provided to the landscape architect for review and comment prior to delivery of site. Soil report shall be no older than one month.
  - Off site minimum soil depths are as follows unless noted differently or plans:  
 150mm for lawn areas  
 150mm for shrub beds  
 300mm for trees
  - The proposed sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Soils compacted subject to a minimum depth of 150mm immediately below planting growing medium.
  - All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for container grown stock.
  - Discrepancies between plant numbers on the plant list and on the plan shall be reported to the landscape architect prior to opening plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
  - All plant material to be supplied on the job site must be obtained from a nursery participating in the BCNA Phytophthora common Certification Program. Plant material provided by the contractor (and to be carried) will be removed, disposed of and replaced at the contractor's expense.
  - Conditions - If substitution or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on site and field B support to instructions where applicable.
  - Plants shall be nursery grown under similar conditions, similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be present prior to delivery except upon special approval.
  - Root balls to be free of perennial weeds.
  - Install 2" (50mm) of composted organic mulch on all areas both after planting and rain smooth.
  - Landscape Contractor to provide 90 days of maintenance after the date of substantial completion. Maintain to level 2 (defined as per Canadian Landscape Standards). Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
  - The Landscape Consultant is to approve any plant material substitutions. Upon delivery, the plant material must meet CLS standards.
  - Planting material on site. Desirable to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
  - All landscaping to have high efficiency irrigation system to SABC standards.

**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 470 West 10th Street, Vancouver, BC V6C 1G5  
 604-683-1033 | info@prospectandrefuge.ca  
 Building on the edge of history in the heart of the city.

**Revision Log**

Date	Issued for Review	Future Notes
E 2022-05-24	Revised for DP	
D 2022-01-27	Issued for Review	
C 2021-11-02	Issued for Review	
B 2021-11-04	Issued for Review	
A 2021-11-01	Issued for Review	

**Project Information**

The Station  
 529 Terminal Avenue N. Nanaimo, BC

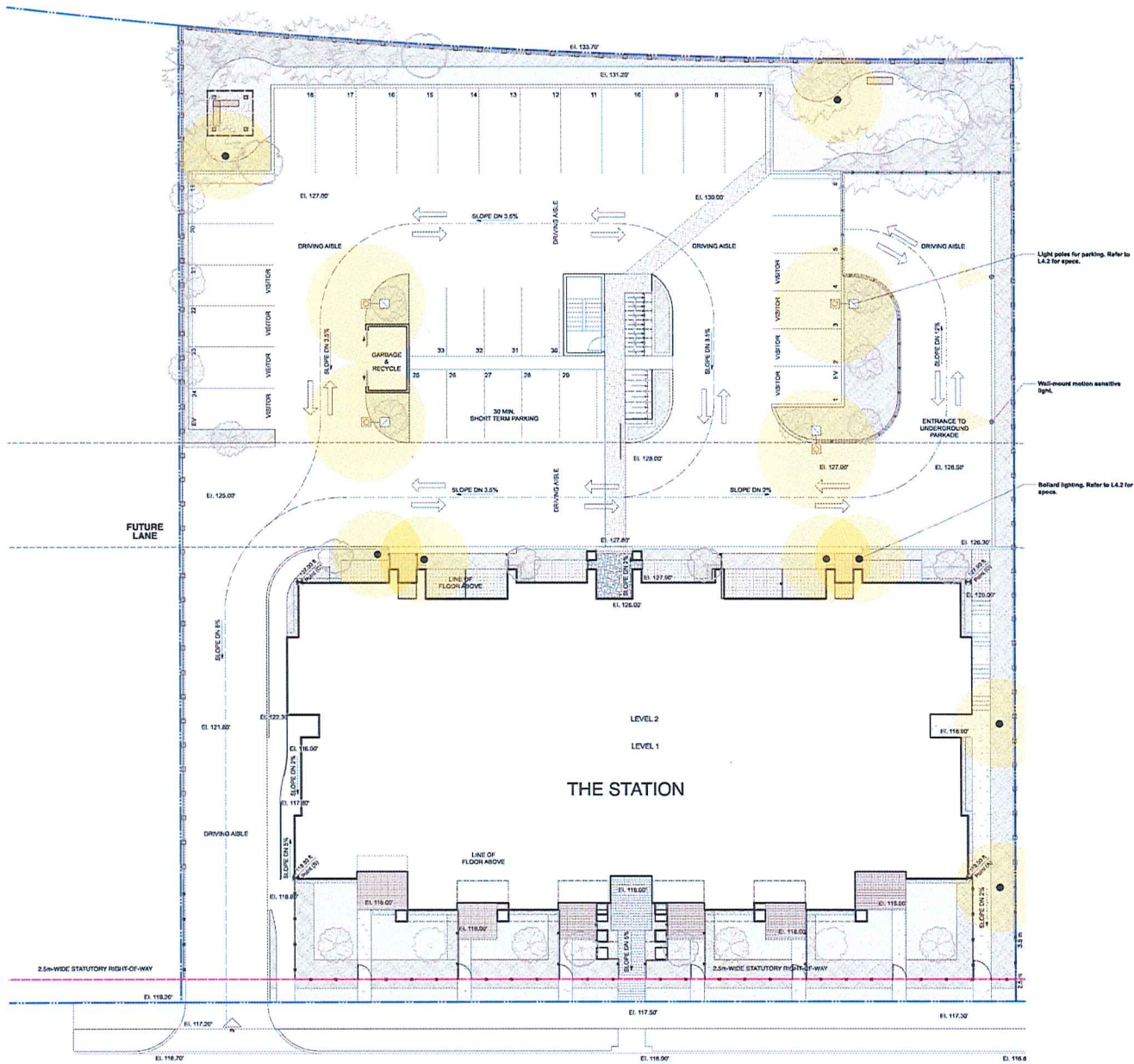
**RECEIVED**  
 2022-MAY-24

**Landscape Shrub Planting**



Quantity	Species	Notes
AS		2021-47
NR		As Noted
AS		

2021-10-26

**L3.2**

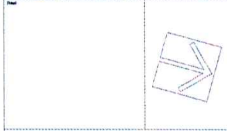


**LEGEND**

-  Light Pole  
Luminaire: PPSU-Pravall LED on 10' Post
-  47\" data-bbox="875 445 915 465"/> Wall Mount Motion Sensitive Light  
Luminaire: PPSU-Pravall LED on wall mount with motion sensor activation

E 2022-05-24	Re-issued for DP
D 2022-01-23	Issued for Review
C 2021-11-09	Issued for DP
B 2021-11-04	Issued for Review
A 2021-11-01	Issued for Review

Date	Issue Notes
------	-------------



**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 4750 West 22nd Street, Vancouver, BC V6M 2G5  
 604 469 1303 info@prospectandrefuge.ca  
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**The Station**  
 529 Terminal Avenue N. Nanaimo, BC

**RECEIVED**  
 DP 1252  
 2022-MAY-24

Lighting Plan

Project Number:	AS	Project No.:	2021-47
Drawn By:	NR	Date:	As Noted
Check By:	AS	Scale:	
Date:	2021-10-26		

L4.1



**Project** **Catalog #** **Type**

**Prepared by** **Date**



**Lumark**  
PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications  
Outdoor • Parking Lots • Walkways • Roadways • Building Awns

**Product Certifications**

**Product Features**

**Interactive Menu**

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

**Quick Facts**

- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

**Dimensional Details**

Prevail

Prevail XL

**COOPER**  
Luminaire Solutions

DESIGN/DATE: page 1  
SAMPLE: 12/20/15/15/16

**Lumière**

**DESCRIPTION**  
ECON 303-B1-LEDB1 is a compact, low profile, dimmable, LED ballast that provides downlight only via a fixed head. 303-B1-LEDB1 has a single head on one side of the luminaire. The ballast comes standard with universal input LED driver (120-277V, 50/60 Hz). Dimming is achieved with a standard ETC remote phase dimming driver or an optional 0-10V dimming driver. Econ fixtures may be used indoors or outdoors and carry an IP68 rating. The patented Luminaire™ ballast housing system provides quick installation, easy adjustment, secure mounting and protection from vibration.

**SPECIFICATION FEATURES**

**Construction**  
The head of the 303-B1-LEDB1 is precision machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and adjustable mounting base is cast from stainless steel hardware is included. Four 45° 1/2" x 1/2" gasketed anodized bolts and a gasketed steel anchor bolt template are standard. Safety option: Lead and solder free without multicomponent Bi separately (Catalog #303-07PFL).

**Optical**  
LightBARK™ and optical assembly are coated by a clear, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (standard throw), T4 (forward throw) and T5X (flood). Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Ambient). Both color temperature and distribution must be specified when ordering - see catalog logo for details. An edge-light option is available.

**Electrical**  
The ballast is standard with an ETV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz). An optional 0-10V universal dimming driver is also available. Both driver options incorporate surge protection. The recessed option incorporates a specification grade, 120V, 15A tamper proof and weather resistant duplex GFCI. The photocell option comes in either a 120V or 277V. Please see Option section for more detail.

**Finish**  
Luminaire and mounting base are double protected by a HardCoat™ chemical film undercoating and polyester powdercoat paint finish. The mounting base is painted black. The luminaire housing and head are available in a variety of standard colors. RAL and custom color matches are available upon request. As an option, the Econ ballasts are also available in colors to match other outdoor Econ product lines, such as Innox. See the Finish section in the mounting detail for more detail.

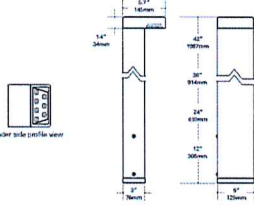
**Warranty**  
Luminaire warrants the ECON series of fixtures against defects in material and workmanship for five (5) years. Ancillary equipment such as LED drivers carries the original manufacturer's warranty.

**CERTIFICATION DATA**  
UL, and IAS, Wet Location Listed  
UL974 L80E Compliant  
NEMA Compliant  
FIM Approved Protection Rating

**TECHNICAL DATA**  
50°C Maximum Temperature Rating  
2 Amps Supply Wiring 90°C Maximum

**APPLICATION:**  
SOLLAD

**303-B1-LEDB1**  
ECON LED



**ORDERING INFORMATION**  
Sample Number: 303-B1-LEDB1-T296-T2-DR90-BC-42-ED02-PC1-RL-ILAN

Series*	Color Temperature	Input Voltage	Optics	Dimming	Finish*	Height*	Options*
303-B1-LEDB1	2700-3500K	120V-277V/1	T2 - Type X	SMALLEY™ Trailing Edge Phase Dimm	Painted	121/71"	EDGE-Optic (90° beam, etc)
Fixed luminaire	2700-3500K	120-277V/1	T4 - Type M	Phase Dimm	Black	36x34"	PC1-Photochromatic (100°)
Prevail XL	2700-3500K	277/277V*	Forward Throw	0-10V Dimmer	Black	36x34"	PC2-Photochromatic (100/170°)
Mini Luminaire	TSAM-True Color Ambient (180°)	120-277V/1	Edge-Light Flood	Dimmable-WY Dimming Driver	Black-Flt	36x34"	RU-Remoteless (14.5ft)
					White-Flt		EDM-Damp*
					Painted-Flt		RU-Mechanical (14.5ft)
					Painted-Flt		EDM-Damp*
					0-10V Dimmer		ALS-Adjustable Beam & Temperature*

\*Option 1 Luminaire (model 1201) is certified for use outdoors. Protection of luminaire by 100 mil (0.01) thickness of epoxy resin. If epoxy resin is used, luminaire must be used indoors. Luminaire housing is anodized aluminum. If anodized luminaire is used, luminaire must be used indoors. If not anodized luminaire is used, luminaire must be used indoors. If not anodized luminaire is used, luminaire must be used indoors. If not anodized luminaire is used, luminaire must be used indoors.

**ECON**  
Energy Efficient Compact Outdoor NEMA

DESIGN/DATE: March 15, 2016

**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
450 West 17th Street Vancouver BC, Canada  
604 683 1333 info@prospectandrefuge.ca  
Building and/or site visits will only be by appointment.

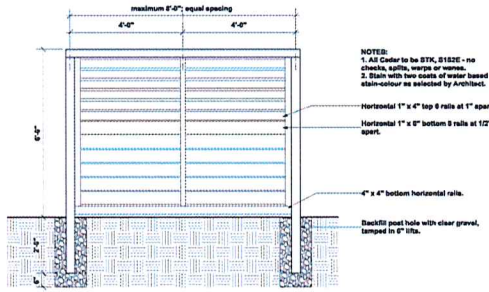
**Project Title:** The Station  
679 Terminal Avenue N. Nanaimo, BC

**RECEIVED**  
DATE: 2022-MAY-24

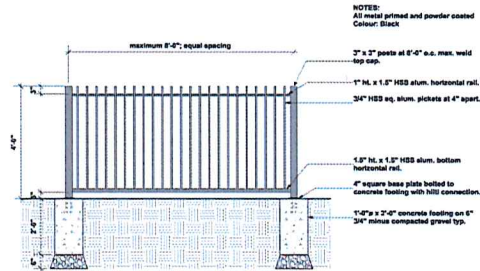
**Lighting Specs**

Project Number:	AS	Project No.:	2021-47
Owner:	NR	Name:	As Noted
Designer:	AS	Project:	L4.2
Date:	2021-10-26		

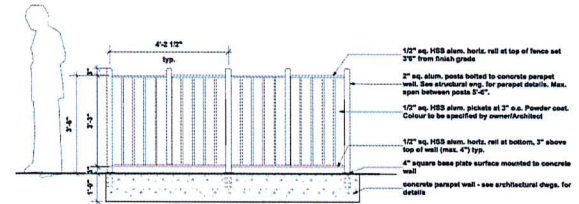




1 6'-0" ht. Solid Wooden Privacy Fence  
Scale: 1/2" = 1'-0"



2 Typical 4'-0" ht. Metal Picket Fence with Gate  
Scale: 1/2" = 1'-0"



3 Typical 3'-6" ht. Metal Picket Guardrail  
Scale: 1/2" = 1'-0"



**Urban Staple Racks - Installation Guidelines**

The goal of our Urban Staple Rack is to provide a secure and reliable method to hold your bicycle in place.

**INSTALLATION REQUIREMENTS**

Minimum Concrete Requirements: 4000 psi concrete, 4" thick, 8" x 8" x 8" (minimum)

**Tools Required**

- Power Drill
- Level
- Shovel
- Hammer
- Concrete Mixer

**Rack Labels**

Labels are provided for each rack. Labels are to be placed on the concrete surface of the wall. Labels are to be placed on the concrete surface of the wall. Labels are to be placed on the concrete surface of the wall.

**Anchoring the Rack**

Labels are provided for each rack. Labels are to be placed on the concrete surface of the wall. Labels are to be placed on the concrete surface of the wall. Labels are to be placed on the concrete surface of the wall.

**URBAN RACKS**

WISHBONE | 1-800-368-7669

5 Staple bike racks, color black from Urban Racks  
Scale: 1/2" = 1'-0"  
Surface-mounted with tamper proof hardware.

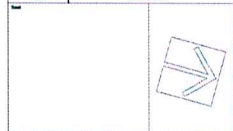


4 6' long Hutch Park bench color: walnut from Wishbone  
Scale: 1/2" = 1'-0"  
Available from www.wishbonehd.net  
Surface-mounted with tamper proof hardware



6 Amenity Area Pergola w/ benches  
Scale: n/a  
(Concept Image)

Date	Issue Notes
2022-05-24	Re-issued for DP
2022-01-23	Issued for Review
2021-11-04	Issued for DP
2021-11-04	Issued for Review
2021-11-01	Issued for Review



**Prospect & Refuge**  
LANDSCAPE ARCHITECTS

4710 West 24th Avenue, Vancouver, BC, V6L 2K2  
604-683-1200 | [www.prospectandrefuge.ca](http://www.prospectandrefuge.ca)

Project File and Address  
**The Station**  
529 Terminal Avenue N. Nanaimo, BC

Project No: 2021-47  
Client: NIK  
Name: As Noted  
Designer: AS  
Date: 2021-10-26

RECEIVED  
D 11 12 52  
2022-MAY-24

Landscape Details  
L8b