



DEVELOPMENT PERMIT NO. DP001257

SUN PORCH HOMES LTD

Name of Owner(s) of Land (Permittee)

223 VICTORIA ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**THE NORTHERLY 1/2 OF LOT 18, BLOCK JACKSON, SECTION 1,
NANAIMO DISTRICT, PLAN 584
PID No. 008-823-031**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. Section 6.10 Fence Height – to increase the maximum fence height in the side yard setbacks from 1.8m up to 4.6m as shown on Schedule C.

The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

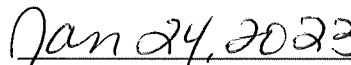
1. Section 4.1 & 4.3 Standard Vehicle Parking Stall Dimensions & Small Car Spaces – to allow angled parking as shown on Schedule B.
2. Section 4.3 Small Car Spaces – to increase the maximum percentage of small car parking spaces from 40% to 50%.
3. Section 7.3 Reduced Parking Conditions – to increase the maximum percentage that required parking spaces may be substituted as cash-in-lieu from 10% to 20%.

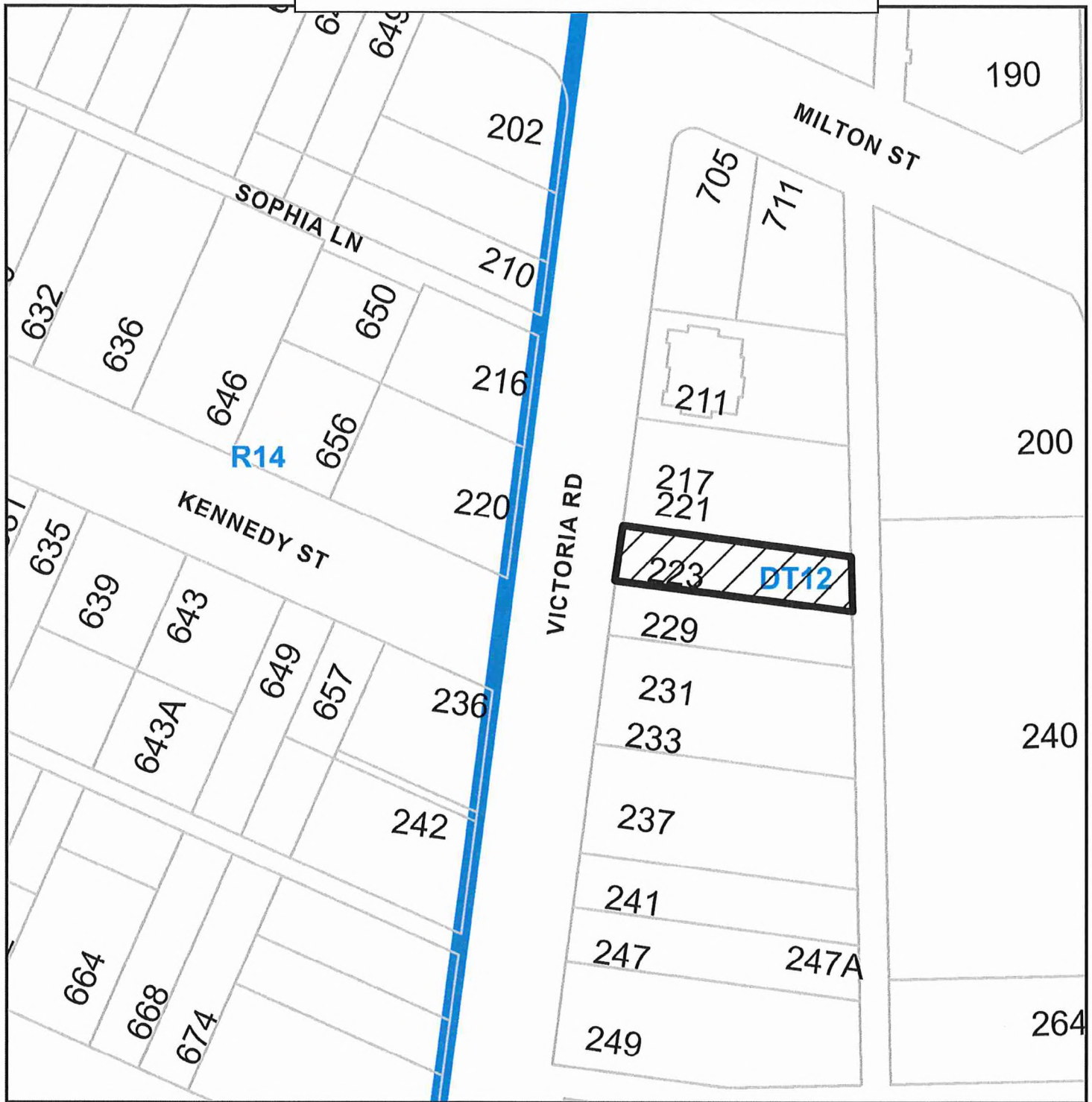
CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan and Parking Plan, prepared by Joyce Reid Troost Architecture., dated 2022-AUG-24, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations, prepared by Joyce Reid Troost Architecture., dated 2022-NOV-02, as shown on Schedule C.
3. The subject property and site lighting shall be developed in substantial compliance with the Landscape Plan and Details prepared by 4 Site Landscape Architecture and Site Planning, dated 2022-AUG-30, as shown on Schedule D.
4. Registration of a 0.75m-wide Statutory Right-of-Way (SRW) as shown on Schedule C prior to building permit issuance for future widening of the lane.
5. A cash-in-lieu payment to the City in the sum of \$10,000 prior to building permit issuance for the substitution of one required parking space.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 16TH DAY OF JANUARY, 2023


Corporate Officer


Date



DEVELOPMENT PERMIT APPLICATION NO. DP001257

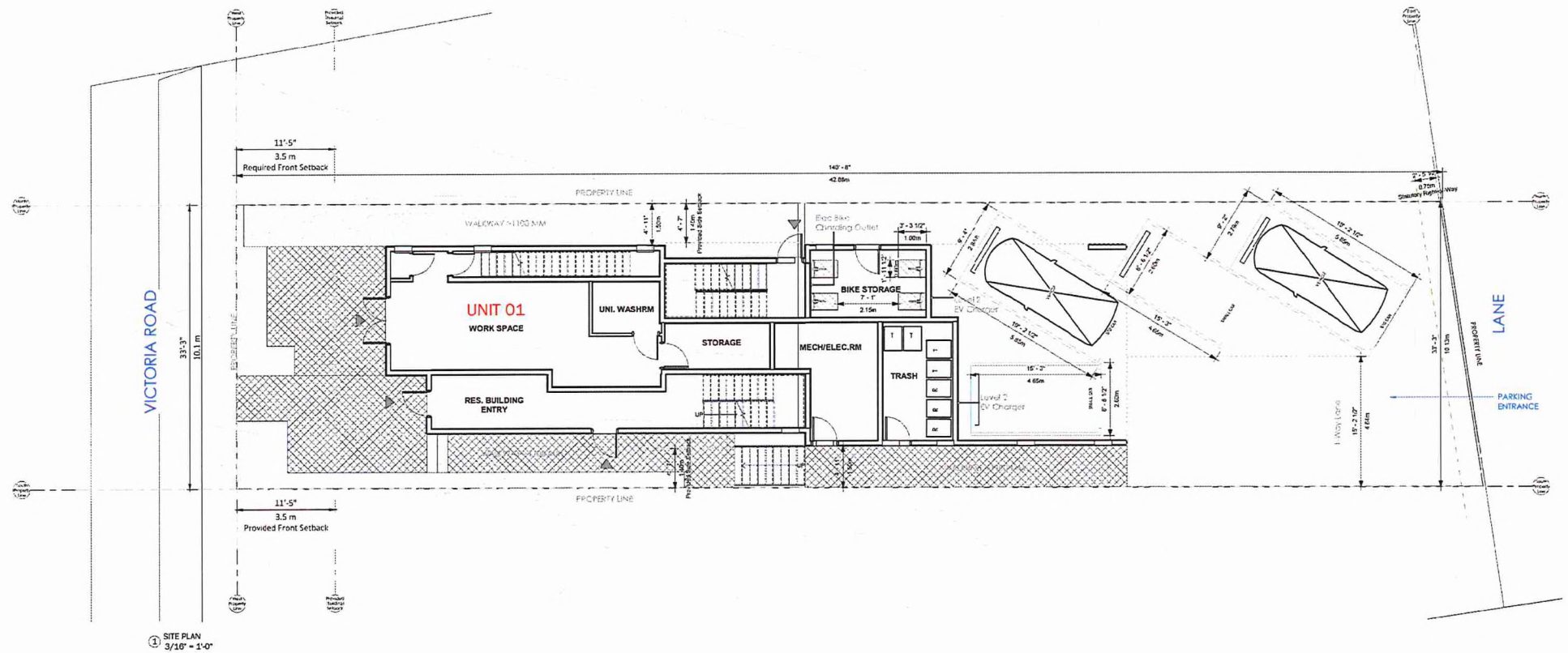
CIVIC: 223 Victoria Road





Subject Property

Development Permit No. DP001257
Schedule B
223 Victoria Road

SITE AND PARKING PLAN



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DP1257
2022-DEC-12

 <div> <div>JOYCE REID TROOST ARCHITECTURE</div> <div>2515 GLENAYR DRIVE</div> <div>NANAIMO, BC V9S 3R9</div> <div>joyce@jrtarchitecture.ca</div> <div>250.714.8749</div> <div>jrtarchitecture.com</div> </div>	<div>THE DRAWING SHOWS EXISTING AND PROPOSED CONSTRUCTION. EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NANAIMO ZONING BYLAW AND THE CITY OF NANAIMO DEVELOPMENT BYLAW. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED.</div>	<div>ARCH. STAMP</div> 	<div>VICTORIA FOURPLEX</div> <div>223 VICTORIA ROAD</div> <div>NANAIMO, BC</div>	<div>CLIENT</div> <div>SUN PORCH HOMES LTD.</div>	<table> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> <tr> <td>01-01-04</td> <td>1</td> <td>Client Set 01</td> </tr> <tr> <td>02-02-04</td> <td>2</td> <td>Revision 1</td> </tr> <tr> <td>03-03-04</td> <td>3</td> <td>CL. Update</td> </tr> </table>	REV. DATE	NUMBER	DESCRIPTION	01-01-04	1	Client Set 01	02-02-04	2	Revision 1	03-03-04	3	CL. Update	<div>DATE NOV 15, 2021</div> <div>SCALE 3/16" = 1'-0"</div> <div>DRAWN BY DL CHECKED BY JRT</div>	<div>SITE PLAN</div> <div>A100</div>
	REV. DATE	NUMBER	DESCRIPTION																
01-01-04	1	Client Set 01																	
02-02-04	2	Revision 1																	
03-03-04	3	CL. Update																	

Development Permit No. DP001257 Schedule C
223 Victoria Road
BUILDING ELEVATIONS AND DETAILS

MATERIAL LEGEND

- 01 Windows White
- 02 GENTEK Shingles Iron Ore
- 03 HARDIE Board and Batten Pearl Grey
- 04 GENTEK Vinyl Siding Chesapeake Grey
- 05 HARDIE Panel Iron Grey
- 06 ClamClad Barrel Oak
- 07 GENTEK Vinyl Siding Storm





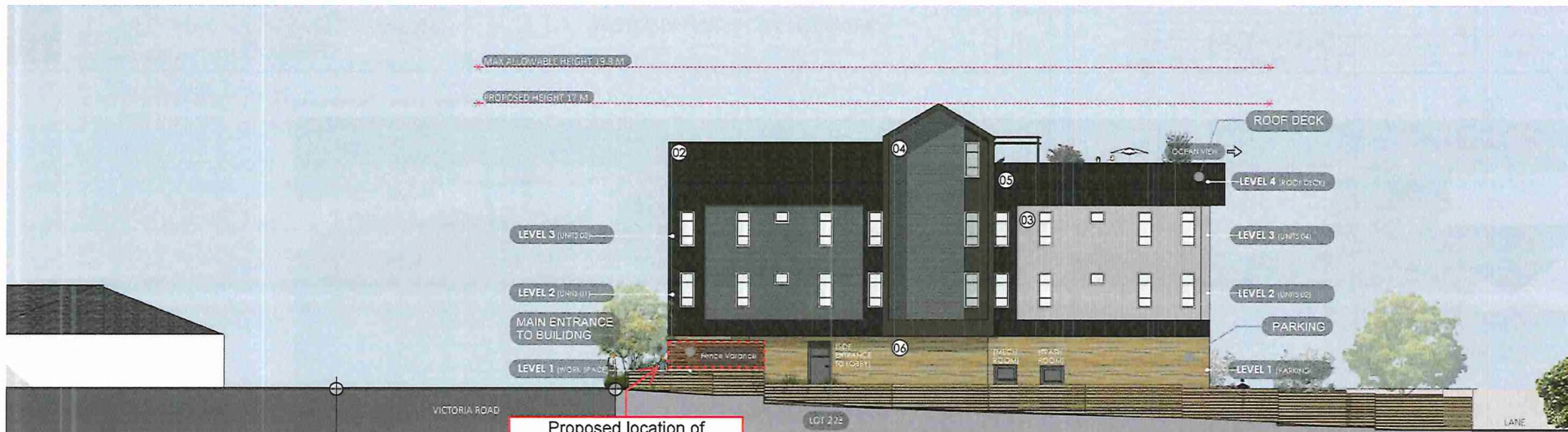
WEST ELEVATION | FOURPLEX | FROM VICTORIA ROAD | Scale 1/8" = 1' |



EAST ELEVATION | FOURPLEX | FROM LANE | Scale 1/8" = 1' |

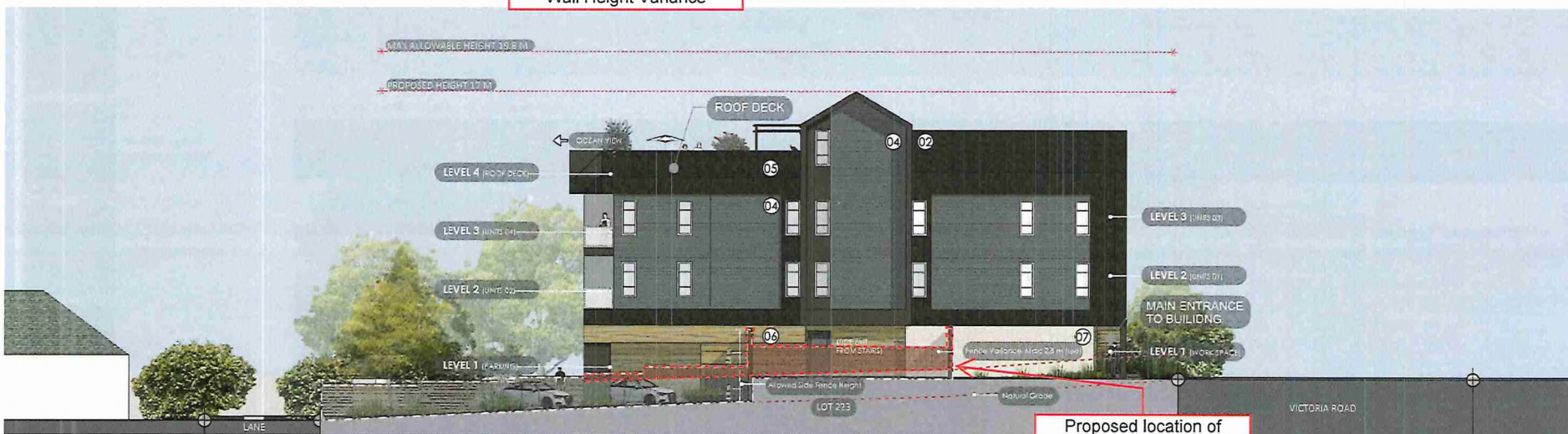
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	JOYCE REID TROOST ARCHITECTURE 2515 GLENVAIS DRIVE NANAIMO, BC V9S 3B9																								
	joyce@trarchitects.com 250.714.8749 trarchitects.com																								
<p>THE DRAWINGS, DESIGN IDEAS AND MATERIALS OF CONSTRUCTION OFFERED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECTS. ALL CONSTRUCTION AND/OR OTHER WORKS ARE TO BE PROVIDED, CONSIDERED, REPRODUCED OR USED FOR ANY PURPOSES WITHOUT WRITTEN PERMISSION FROM JOYCE REID TROOST ARCHITECTS. ANY UNAUTHORIZED USE OF THESE PLANS IS A VIOLATION. THE THIRD PARTY SHALL NOT HOLD JOYCE REID TROOST ARCHITECTS RESPONSIBLE.</p>																									
																									
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SOUTH ELEVATION | FOURPLEX | SIDE ELEVATION | Scale 1/8" = 1' |



Proposed location of
combined Fence/Retaining
Wall Height Variance



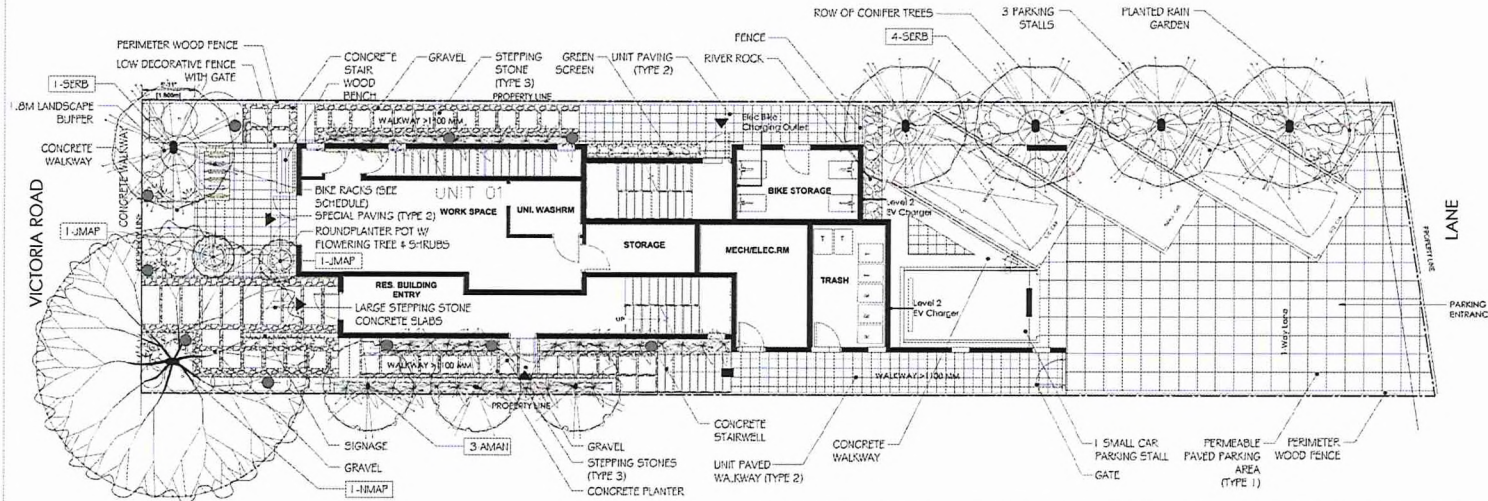
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ANY REUSE OR REPRODUCTION OF THIS DOCUMENTATION WITHOUT THE WRITTEN PERMISSION OF JOYCE REID TROOST ARCHITECTURE IS STRICTLY PROHIBITED.</p>	<p>ARCH STAMP</p> 	<p>VICTORIA LIVE/WORK FOURPLEX</p> <p>223 VICTORIA ROAD, NANAIMO, BC</p>	<p>CLIENT</p> <p>Sun Parish Homes Ltd.</p>	<table><tr><th>REV.</th><th>DATE</th><th>NUMBER</th><th>DESCRIPTION</th></tr><tr><td>1</td><td>2020-04</td><td>1</td><td>Revision 1</td></tr><tr><td>2</td><td>2020-13</td><td>2</td><td>Comprehensive Update Per Building Update</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> 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LANDSCAPE PLAN AND DETAILS



MAIN LEVEL LANDSCAPE CONCEPT PLAN
SCALE $\frac{3}{16}" = 1'-0"$

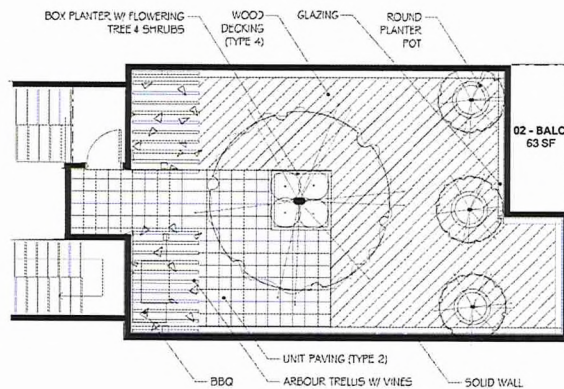
NOTE:
TOTAL # OF TREES ON SITE (NOT INC)
TOTAL # CONIFER TREES = 5
% CONIFER TREE COVERAGE = 55%

BOLLARDS (x10)
DESCRIPTION: APTOS BOLLARD
MODEL: LBAPT-AC
COLOUR: BRIGHT SILVER GLOSS

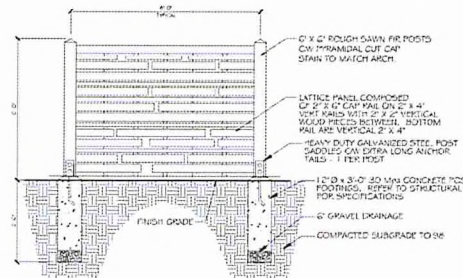
LIGHT POLE (x1)
DESCRIPTION: 3 RIVERS PEDESTRIAN
MODEL: LPRIV-LED
COLOUR: BRIGHT SILVER GLOSS

SUGGESTED PLANT LIST				
	Key	Common Name	Latin Name	Score
Trees	SHAD-13	Japanese Medea	Acet. pinnatif. ex Benthopod	400
	SHAD-11	Japanese Red Flowering Cherry	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-11	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-11	Japanese Maple	Prunus serrulata ex. Benthopod	400
Large Shrubs	CLAN-1	Chinese Elm	Ulmus pinnatif. ex Benthopod	1.500
	SHAD-13	The Magnolia	Magnolia officinalis ex Benthopod	400
	SHAD-13	Japanese Red Flowering Cherry	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
Medium Shrubs	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
Small Shrubs	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
Ground Covers	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
Vines	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
Perennials & Grasses	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400
	SHAD-13	Japanese Maple	Prunus serrulata ex. Benthopod	400

NOTE: DETAILED PLANT LIST WITH PLANT QUANTITIES WILL BE PROVIDED AT BUILDING PERMIT STAGE.

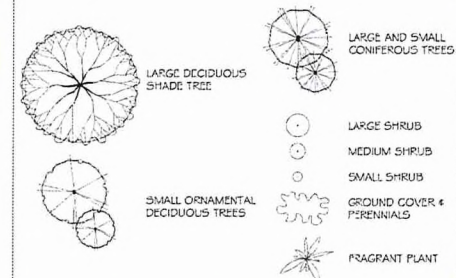


ROOF LEVEL LANDSCAPE CONCEPT PLAN
SCALE $\frac{1}{4}" = 1'-0"$



PERIMETER WOOD FENCE
SCALE $\frac{1}{2}" = 1'-0"$




SOFTSCAPE LEGEND



PAVER SCHEDULE:

TYPE 1:	VENETIAN COBBLE
COLOUR:	PERMEABLE PAVER
SIZE:	CHARCOAL
PATTERN:	VARIOUS
	ASHLAR BOND
TYPE 2:	
TYPE:	ORIGINS 12
COLOUR:	VICTORIAN
SIZE:	12X12
PATTERN:	JACK-ON-A-BOX, 90° TO BUILDING FACE
TYPE 3:	
TYPE:	NAME
COLOUR:	LUMINEZIA
SIZE:	24X24"
TYPE 4:	
TYPE:	NOON (WOOD)
COLOUR:	DAYLIGHT
SIZE:	8"x8"

LIGHTING LEGEND

 BOLLARD LIGHT
 14' LIGHT POLE
 WALL LIGHT

BENCH
DESCRIPTION: COMMERCIAL METRO BENCH
QUANTITY: 1
FRAME COLOUR: NOBEL (GLOSS)
WOOD PLASTIC COMPOSITE: WALNUT
SUPPLIER: CANAAN SITE FURNISHINGS
PHONE: 1-855-330-1133

BIKE RACKS
MODEL: CAR-201
QUANTITY: 6
COLOUR: NOBEL (GLOSS)
SUPPLIER: CANAAN SITE
FURNISHINGS
PHONE: 1-855-330-1133